



**OFFICIAL AGENDA
HISTORIC PRESERVATION COMMISSION
CITY OF STARKVILLE, MISSISSIPPI
MEETING OF TUESDAY, MARCH 26, 2024
2ND FLOOR CITY HALL – COMMUNITY DEVELOPMENT,
110 WEST MAIN STREET, 5:30 PM**

- I. CALL TO ORDER
- II. PLEDGE OF ALLEGIANCE AND A MOMENT OF SILENCE
- III. ROLL CALL
- IV. CONSIDERATION OF THE OFFICIAL AGENDA
- V. CONSIDERATION OF THE MINUTES:
 - A. CONSIDERATION OF THE UNAPPROVED MINUTES FOR APRIL 25, 2023.
 - B. CONSIDERATION OF THE UNAPPROVED MINUTES FOR JUNE 12, 2023.
 - C. CONSIDERATION OF THE UNAPPROVED MINUTES FOR OCTOBER 25, 2022.
- VI. NEW BUSINESS
 - A. DISCUSSION AND CONSIDERATION OF ADOPTING THE 2024 HISTORIC PRESERVATION COMMISSION MEETING AND SUBMISSION SCHEDULE.
 - B. DISCUSSION AND CONSIDERATION OF COA 24-01 A REQUEST FOR A CERTIFICATE OF APPROPRIATENESS AT 521 GREENSBORO STREET ON A PARCEL THAT IS CURRENTLY ZONED TN-E WITH PROPERTY NUMBER 102B-00-117.00.
 - C. DISCUSSION AND CONSIDERATION OF COA 24-02 A REQUEST FOR A CERTIFICATE OF APPROPRIATENESS AT 512 GREENSBORO STREET ON A PARCEL THAT IS CURRENTLY ZONED TN-E WITH PROPERTY NUMBER 118-00-282.00.
- VII. ADJOURN

**MINUTES OF THE HISTORIC PRESERVATION COMMISSION
MEETING OF TUESDAY, APRIL 25, 2023
THE CITY OF STARKVILLE, MISSISSIPPI**

Be it remembered that the members of the Historic Preservation Commission of the City of Starkville, Mississippi held their regularly scheduled meeting on April 25, 2023, in the Large Conference Room on the 2nd floor of City Hall, located at 110 West Main Street, Starkville MS.

There being physically present were Commissioners Robert McMillen, Ryan Ashford, Emily Corban Camp, and Debbie Nettles. Commissioners Shawn Lambert, Cyndi Sullivan, and Christopher Hunter were absent. Physically present attending the Commissioners, and serving as procedural Chair, was Assistant City Planner Lyle McCaskey.

III. CONSIDERATION OF THE OFFICIAL AGENDA

There came for consideration the matter of the approval of the Official Agenda of the Historic Preservation Commission on April 25, 2023.

**OFFICIAL AGENDA
HISTORIC PRESERVATION COMMISSION
CITY OF STARKVILLE, MISSISSIPPI
MEETING OF TUESDAY, APRIL 25, 2023
2ND FLOOR CITY HALL – COMMUNITY DEVELOPMENT,
110 WEST MAIN STREET, 5:30 PM**

- I. CALL TO ORDER
- II. PLEDGE OF ALLEGIANCE AND A MOMENT OF SILENCE
- III. ROLL CALL
- IV. CONSIDERATION OF THE OFFICIAL AGENDA
- V. CONSIDERATION OF THE MINUTES:
 - A. CONSIDERATION OF THE UNAPPROVED MINUTES FOR FEBRUARY 14, 2023
 - B. CONSIDERATION OF THE UNAPPROVED MINUTES FOR MARCH 8, 2023
- VI. NEW BUSINESS
 - A. DISCUSSION AND CONSIDERATION OF COA 23-02 A REQUEST FOR A CERTIFICATE OF APPROPRIATENESS AT 404 GREENSBORO STREET IN THE GREENSBORO HISTORIC DISTRICT
 - B. DISCUSSION WITH DR. LYNTON REQUESTING A LETTER OF SUPPORT FOR MSU'S BRUSH ARBOR CEMETERY PROJECT
- VII. PLANNER'S REPORT
 - A. CLG UPDATE
 - B. EXPIRING COMMISSION TERMS
- VIII. ADJOURN

IV. CONSIDERATION OF THE OFFICIAL AGENDA

After a discussion and upon the motion of Commissioner Camp, duly seconded by Commissioner McMillen, the motion to approve the official agenda of the Historic Preservation Commission for August 25, 2023 received unanimously approval.

V. CONSIDERATION OF THE MINUTES

A. CONSIDERATION OF THE UNAPPROVED MINUTES FOR FEBRUARY 14, 2023

After discussion and upon the motion of Commissioner Camp, duly seconded by Commissioner Nettles, the motion to approve the minutes of the Historic Preservation Commission for February 14, 2023 received unanimous approval.

B. CONSIDERATION OF THE UNAPPROVED MINUTES FOR MARCH 8, 2023

After discussion and upon the motion of Commissioner Camp, duly seconded by Commissioner Nettles, the motion to approve the minutes of the Historic Preservation Commission for March 8, 2023 received unanimous approval.

VI. NEW BUSINESS

A. DISCUSSION AND CONSIDERATION OF COA 23-02 A REQUEST FOR A CERTIFICATE OF APPROPRIATENESS AT 404 GREENSBORO STREET IN THE GREENSBORO HISTORIC DISTRICT

Assistant City Planner Lyle McCaskey presented the request for Certificate of Appropriateness by Briar Jones. The request is for a new detached pool house, attached garage, single story attached addition and other various remodeling to the existing structure. After discussion and upon the motion of Commissioner Ashford, duly seconded by Commissioner McMillen, the motion to approve the request received unanimous approval.

B. DISCUSSION WITH DR. LYNTON REQUESTING A LETTER OF SUPPORT FOR MSU'S BRUSH ARBOR CEMETERY PROJECT

Dr. Lynton spoke about the Brush Arbor Cemetery Project. After further discussion it was recognized that a letter was not necessary at this point in time.

VII. PLANNERS REPORT

A. CLG UPDATE

Item not discussed.

B. EXPIRING COMMISSION TERMS

Item not discussed.

VIII. ADJOURN

There came for consideration, the matter of the approval of the motion to adjourn until 5:30 p.m. on Tuesday, May 30th, 2022, in the Courtroom of City Hall located at 110 West Main Street, Starkville MS if needed.

After discussion and upon the motion to adjourn by Commissioner Camp, duly seconded by Commissioner McMillen, the motion was unanimously approved.

Debbie Nettles, Chairman

Lyle McCaskey, Assistant City Planner

**MINUTES OF THE HISTORIC PRESERVATION COMMISSION
SPECIAL CALL MEETING OF MONDAY, JUNE 12, 2023
THE CITY OF STARKVILLE, MISSISSIPPI**

Be it remembered that the members of the Historic Preservation Commission of the City of Starkville, Mississippi held a special call meeting on June 12, 2023, in the Large Conference Room on the 2nd floor of City Hall, located at 110 West Main Street, Starkville MS.

There being physically present were Chairman Debbie Nettles and Commissioners Cyndi Sullivan and Robert McMillen. Commissioner Emily Corban Camp attended the meeting virtually via the Google Meets platform. Commissioners Ryan Ashford, Shawn Lambert, and Christopher Hunter were absent. Physically present attending the Commissioners were City Planner Daniel Havelin and Assistant City Planner Lyle McCaskey.

III. CONSIDERATION OF THE OFFICIAL AGENDA

There came for consideration the matter of the approval of the Official Agenda of the Historic Preservation Commission on June 12, 2023.

**OFFICIAL AGENDA
HISTORIC PRESERVATION COMMISSION
CITY OF STARKVILLE, MISSISSIPPI
SPECIAL CALL MEETING OF MONDAY, JUNE 12th, 2023
2ND FLOOR CITY HALL – COMMUNITY DEVELOPMENT,
WEST MAIN STREET, 5:30 PM**

- I. CALL TO ORDER
- II. PLEDGE OF ALLEGIANCE AND A MOMENT OF SILENCE
- III. ROLL CALL
- IV. CONSIDERATION OF THE OFFICIAL AGENDA
- V. NEW BUSINESS
 - A. DISCUSSION AND CONSIDERATION OF COA 23-03 A REQUEST FOR A CERTIFICATE OF APPROPRIATENESS AT 305 GREENSBORO STREET IN THE GREENSBORO HISTORIC DISTRICT.
- VI. ADJOURN

IV. CONSIDERATION OF THE OFFICIAL AGENDA

After a discussion and upon the motion of Commissioner Camp, duly seconded by Commissioner McMillen, the motion to approve the official agenda of the Historic Preservation Commission for June 12, 2023, received unanimous approval.

V. NEW BUSINESS

A. DISCUSSION AND CONSIDERATION OF COA 23-03 A REQUEST FOR A CERTIFICATE OF APPROPRIATENESS AT 305 GREENSBORO STREET IN THE GREENSBORO HISTORIC DISTRICT.

Assistant City Planner Lyle McCaskey presented the request for a Certificate of Appropriateness by James C. Giesen and Anne E. Marshall. The request is for an addition to the rear of the house including the following items: a new screened porch, construction of a deck, and a new roof over both the back living room and new porch. After discussion and upon the motion of Commissioner Camp, duly seconded by Commissioner McMillen, the motion to approve the request received unanimous approval.

VI. ADJOURN

There came for consideration the matter of the approval of the motion to adjourn until 5:30 p.m. on Tuesday, June 27th, 2023, in the Courtroom of City Hall located at 110 West Main Street, Starkville MS if needed.

After discussion and upon the motion to adjourn by Commissioner McMillen, duly seconded by Commissioner Sullivan, the motion was unanimously approved.

Debbie Nettles, Chairman

Lyle McCaskey, Assistant City Planner

**MINUTES OF THE HISTORIC PRESERVATION COMMISSION
MEETING OF TUESDAY, OCTOBER 25, 2022
THE CITY OF STARKVILLE, MISSISSIPPI**

Be it remembered that the members of the Historic Preservation Commission of the City of Starkville, Mississippi held their regularly scheduled meeting on October 25, 2022, in the Large Conference Room on the 2nd floor of City Hall, located at 110 West Main Street, Starkville MS.

There being physically present were Chairman Debbie Nettles, Commissioners Cyndi Sullivan, and Commissioner Robert McMillen. Attending the meeting on the google meets platform were Commissioner Ryan Ashford and Commissioner Emily Corban Camp. Commissioners Shawn Lambert and Commissioner Christopher Hunter were absent. Physically present attending the Commissioners were City Planner Daniel Havelin and Assistant City Planner Lyle McCaskey.

IV. CONSIDERATION OF THE OFFICIAL AGENDA

There came for consideration the matter of the approval of the Official Agenda of the Historic Preservation Commission on October 25, 2022.

**OFFICIAL AGENDA
HISTORIC PRESERVATION COMMISSION
CITY OF STARKVILLE, MISSISSIPPI
MEETING OF TUESDAY, OCTOBER 25, 2022
2ND FLOOR CITY HALL – COMMUNITY DEVELOPMENT,
110 WEST MAIN STREET, 5:30 PM**

- I. CALL TO ORDER
- II. ROLL CALL
- III. PLEDGE OF ALLEGIANCE AND A MOMENT OF SILENCE
- IV. CONSIDERATION OF THE OFFICIAL AGENDA
- V. CONSIDERATION OF THE MINUTES
 - A. CONSIDERATION OF THE UNAPPROVED MINUTES FOR AUGUST 23, 2022
- VI. NEW BUSINESS
 - A. DISCUSSION OF THE INTENT TO APPLY (ItA) FOR CLG FUNDS FOR 2023 FOR THE PUBLICATION OF THE STARKVILLE AFRICAN AMERICAN HISTORIC RESOURCES SURVEY.
- VII. ADJOURN

After a discussion and upon the motion of Commissioner Sullivan, duly seconded by Commissioner McMillen, the motion to approve official agenda of the Historic Preservation Commission for October 25, 2022 received unanimously approval.

V. CONSIDERATION OF THE MINUTES

A. CONSIDERATION OF THE UNAPPROVED MINUTES FOR AUGUST 23, 2022

After discussion and upon the motion of Commissioner McMillen, duly seconded by Chairman Nettles, the motion to approve the minutes of the Historic Preservation Commission for August 23, 2022 as revised received unanimous approval.

VI. NEW BUSINESS

A. DISCUSSION OF THE INTENT TO APPLY (ItA) FOR CLG FUNDS FOR 2023 FOR THE PUBLICATION OF THE STARKVILLE AFRICAN AMERICAN HISTORIC RESOURCES SURVEY

Mr. Havelin presented the Intent to Apply for the 2023 CLG Grant. The Intent to Apply (is the first step in obtaining a CLG Grant for 2023. This proposed project is to create a publication based off 2022 report titled Historic African-American Resources in Starkville, Mississippi 2022.

After a brief discussion. The Commission moved on to the next agenda item.

VII. ADJOURN

There came for consideration, the matter of the approval of the motion to adjourn until 5:30 p.m. on Tuesday, November 22, 2022 in the Courtroom of City Hall located at 110 West Main Street, Starkville MS if needed.

After discussion and upon the motion to adjourn by Commissioner Sullivan, duly seconded by Commissioner McMillen, the motion was unanimously approved.

Debbie Nettles, Chairman

Daniel Havelin, City Planner



Historic Preservation Commission 2024 Meeting Schedule

Submittal Type Deadline	Meeting Date
Public Meeting: Certificates of Appropriateness (Sec. 3.16)	
Tuesday, January 9, 2024	Tuesday, January 23, 2024
Tuesday, February 13, 2024	Tuesday, February 27, 2024
Tuesday, March 12, 2024	Tuesday, March 26, 2024
Tuesday, April 9, 2024	Tuesday, April 23, 2024
Tuesday, May 14, 2024	Tuesday, May 28, 2024
Tuesday, June 11, 2024	Tuesday, June 25, 2024
Tuesday, July 9, 2024	Tuesday, July 23, 2024
Tuesday, August 13, 2024	Tuesday, August 27, 2024
Tuesday, September 10, 2024	Tuesday, September 24, 2024
Tuesday, October 15, 2024	Tuesday, October 29, 2024
Tuesday, November 12, 2024	Tuesday, November 26, 2024
Tuesday, December 3, 2024	Tuesday, December 17, 2024
Tuesday, January 14, 2025	Tuesday, January 28, 2025
Meetings begin at 5:30 pm at City Hall on the second floor in Rm 211 at 110 West Main Street as needed	



STAFF REPORT

To: Members of the Historic Preservation Commission
From: Lyle McCaskey, Assistant City Planner (662-323-2525 ext. 3130)
Daniel Havelin, City Planner (662-323-2525 ext. 3136)
Subject: Discussion and Consideration of COA 24-01 a request for a Certificate of Appropriateness at 521 Greensboro St in the Greensboro Historic District.
Date: March 26, 2024

The purpose of this report is to provide information regarding the Certificate of Appropriateness request by Robert Camp to make site alterations on the subject property located at 521 Greensboro Street within the Greensboro Historic District. The property is currently zoned TN-E with property #102B-00-117.00. Please see attachments 1-6.

COA REQUEST:

The applicant is requesting a Certificate of Appropriateness to:

1. Replace the short picket fence that is currently in a portion of the backyard with an 8-foot-tall wooden privacy fence. This fence would be consistent with the existing fence in the rest of the backyard.
2. Install a 3.5-foot-tall wooden picket fence with a gate along the length of the front property line. This fence would mirror the spacing and width of the porch railing posts that are currently on the front porch.

COA HISTORY:

None.

3.16.1. Criteria for issuance of certificates of appropriateness.

The Historic Preservation Commission and the Board of Aldermen shall use the following criteria in approving or denying a certificate of appropriateness:

A. General factors criteria

1. Architectural design of the existing building, structure, or appurtenance and proposed alteration
2. Historical significance of the resource
3. General appearance of the resource
4. Condition of the resource
5. Materials composing the resource
6. Size of the resource
7. The relationship of the above factors, and their effect upon the immediate surroundings and, if within a historic district, upon the district as a whole and its architectural and historical character and integrity.

B. New construction criteria

1. In advance of new construction, steps shall be taken to ensure evaluation of possible archaeological resources, as set forth in the Mississippi Antiquities Act.
2. The following aspects of new construction shall be visually compatible with the buildings and environment with which the new construction is visually related, including but not limited to: the height, the gross volume, the proportion between the width and height of the facade(s), the proportions and relationship between doors and windows, the rhythm of solids to voids created by openings in the facade, materials, textures, colors, patterns, trims, and design of the roof.
3. Existing rhythm created by existing building masses and spaces between them shall be preserved.
4. The landscape plan shall be compatible with the resource, and it shall be visually compatible with the environment with which it is visually related. Landscaping shall also not prove detrimental to the fabric of a resource, or adjacent public or private improvements like sidewalks and walls.
5. No specific architectural style shall be required.

C. Exterior alteration criteria

1. All exterior alterations to a building, structure, object, site, or landscape feature shall be compatible with the historic resource itself and other resources with which it is related, and the original design of a building, structure, object, or landscape feature shall be considered in applying these standards.
2. Exterior alterations shall not affect the architectural character or historic quality of a landmark and shall not destroy the significance of landmark sites.

D. **Demolition criteria.** In considering an application for the demolition of a landmark or a historic resource within a historic district, the following shall be considered:

1. The Historic Preservation Commission shall consider the individual architectural, cultural, and/or historical significance of the historic resource.
2. The Historic Preservation Commission shall consider the importance or contribution of the resource to the architectural character of the district.
3. The Historic Preservation Commission shall consider the importance or contribution of the resource to neighboring property values.
4. The Historic Preservation Commission shall consider the difficulty or impossibility of reproducing such a resource because of its texture, design, material, or detail.
5. Following recommendation for approval of demolition, the applicant must seek approval of replacement plans, set forth in Section 3.16.1 B, prior to receiving a demolition permit and other permits. Replacement plans for this purpose shall include, but shall not be restricted to, project concept, preliminary elevations and site plans, and completed working drawings for at least the foundation plan which will enable the applicant to receive a permit for foundation construction.

6. Applicants that have received approval for demolition shall be permitted to receive a demolition permit from the Building Department, following the approval of a certificate of appropriateness by the Board of Aldermen, approval by appropriate city departments, and approval by any other agency that has jurisdiction over the resource. Permits for demolition and construction shall be issued simultaneously if requirements of the Unified Development Code are met, and the applicant provides financial proof of his ability to complete the project.

STANDARDS FOR STARKVILLE'S HISTORIC DISTRICTS RECOMMEND:

ADDITIONS TO HISTORIC BUILDINGS

An addition to a historic structure can be visually disruptive. Before contemplating an addition look for ways to alter nonsignificant interior spaces to accommodate new needs. If that is not possible, new additions should be made in a manner that preserves the character and detailing of the historic building. A new addition should not be radically different, nor should it mimic exactly the appearance of the historic building. A new addition should be clearly differentiated from the old, so the addition reads as an addition and not as part of the historic building. A new addition to a historic building is considered to be successful if it preserves significant historic materials and features, preserves the existing historic character, and protects the historic significance by making a visual distinction between what is old and what is new.

Existing additions should be preserved if they are over fifty years old or were done without sacrifice to the architectural integrity of the historic building. However, not all additions are significant and worthy of preservation. Many later additions were poorly designed and constructed and they detracted from the original form, materials, or craftsmanship of the historic building to which they were added.

Many new additions are needed as modern bathrooms, kitchens, and additional living space. Some historic houses simply cannot accommodate the necessities of modern living within the existing exterior walls. If the house has a rear porch, an option to provide more interior space would be to enclose all or a portion of the porch, being careful not to alter the character defining features of the porch. An addition should be designed so it is secondary to the original building. It should be smaller than the original building and sited in a secondary position, such as on the rear or an inconspicuous side. It should be made of materials similar to those on the historic building. Adding a brick addition to a historic frame building is inappropriate because the texture and color of the brick will draw attention to the addition. Likewise, roof material should be similar. If siding materials on the addition matches those on the original structure, vertical trim should be used to visually differentiate the junction between old and new sections. Existing corner boards and trim elements

The scale and rhythm of features on the historic building should be incorporated into the addition design. Using similar height lines for doors and windows and a similar rhythm of the openings will help the addition harmonize with the historic building. Architectural detailing should complement rather than exactly duplicate the detailing of the historic resource. If the historic building has an elaborate Queen Anne- or Colonial Revival-style doorway, the entrance to a new addition should be compatible but plain, to keep the focus on the historic doorway.

Any new addition should be designed to be reversible without significant damage being done to the historic building or any loss of its architectural detailing. For example, if an addition or porch enclosure obscures an original window, retain the window in place and close the shutter. If built-ins in a new addition or enclosure of a porch renders an original doorway inoperable, retain the doorway and convert it into a shallow closet with shelving.

Generally, the most successful way to add space to a historic building is to construct a small hyphen or connector to the addition from the house. This results in minimal damage to the historic building and clearly differentiates the new from the old. When added to a historic house, the hyphen sometimes takes the form of a covered walkway, which can be sided with lattice or jalousies. Connectors between historic commercial buildings and additions sometimes include glass walls, which leave the exterior wall of the historic building visible. Architectural hyphens or connectors should be recessed from the streetscape.

SECRETARY OF THE INTERIOR'S RECOMMENDATIONS -NEW ADDITIONS TO HISTORIC BUILDINGS

Recommended:

Placing functions and services required for the new use in non-character-defining interior spaces rather than constructing a new addition.

Not Recommended:

Expanding the size of the historic building by constructing a new addition when the new use could be met by altering non-character defining interior spaces.

Recommended:

Constructing a new addition so that there is the least possible loss of historic materials and so that character defining features are not obscured, damaged, or destroyed.

Not Recommended:

Attaching a new addition so that the character-defining features of the historic building are obscured, damaged, or destroyed.

Recommended:

Locating the attached exterior addition at the rear or on an inconspicuous side of a historic building; and limiting its size and scale in relationship to the historic building.

Not Recommended:

Designing a new addition so that its size and scale in relation to the historic building are out of proportion, thus diminishing the historic character.

Recommended:

Designing new additions in a manner that makes clear what is historic and what is new.

Not Recommended:

Duplicating the exact form, material, style, and detailing of the historic building in the new addition so that the new work appears to be part of the historic building. Imitating a historic style or period of architecture in new additions, especially for contemporary uses such as drive-in banks or garages.

Recommended:

Considering the attached exterior addition both in terms of the new use and the appearance of other buildings in the historic district or neighborhood. Design for the new work may be contemporary or may reference design motifs from the historic building. In either case, it should always be clearly differentiated from the historic building and be compatible in terms of mass, materials, relationship of solids to voids, and color.

APPENDIX B: LANDSCAPE RECOMMENDATIONS**SIDEWALKS, WALKWAYS, DRIVEWAYS, COURTYARDS, AND PATIOS**

Paved sidewalks, walkways, driveways, courtyards, and patios are all landscape features that are associated with urban buildings. Rural communities generally had graveled drives and graveled walks, with brick used sparingly as an exterior paving material.

In more urban areas, brick was the most common paving material in the nineteenth century, and it was typically laid without mortar on a bed of sand. The use of concrete as a paving material for sidewalks, walkways, and driveways began in the early twentieth century.

REPLACEMENT, ALTERATION, AND INSTALLATION

If repairing historic paving is not possible, new paving should be installed to match the deteriorated original paving in color and size.

Driveways and parking areas paved with concrete are usually additions to historic buildings built before 1920. Excepting patios and courtyards, the installation of new

paving is generally a response to the growing number of cars. In accommodating new driveways, parking areas, and walkways, property owners should consider the historic character of the site and the setting, as well as the materials used for paving. New paved driveways and parking areas need to be as unobtrusive as possible.

Install new paved driveways or parking areas in the least conspicuous part of the historic property. Circular driveways or parking areas should not be installed in front of historic buildings, unless historically documented. The paving of a long gravel driveway is also inappropriate because it gives historic properties a modern subdivision appearance. Asphalt is not an appropriate paving material for driveways and parking areas on historic properties. Also inappropriate is concrete stamped to resemble brick or cobblestone paving. Recommended paving materials are red brick, concrete, and exposed-aggregate concrete.

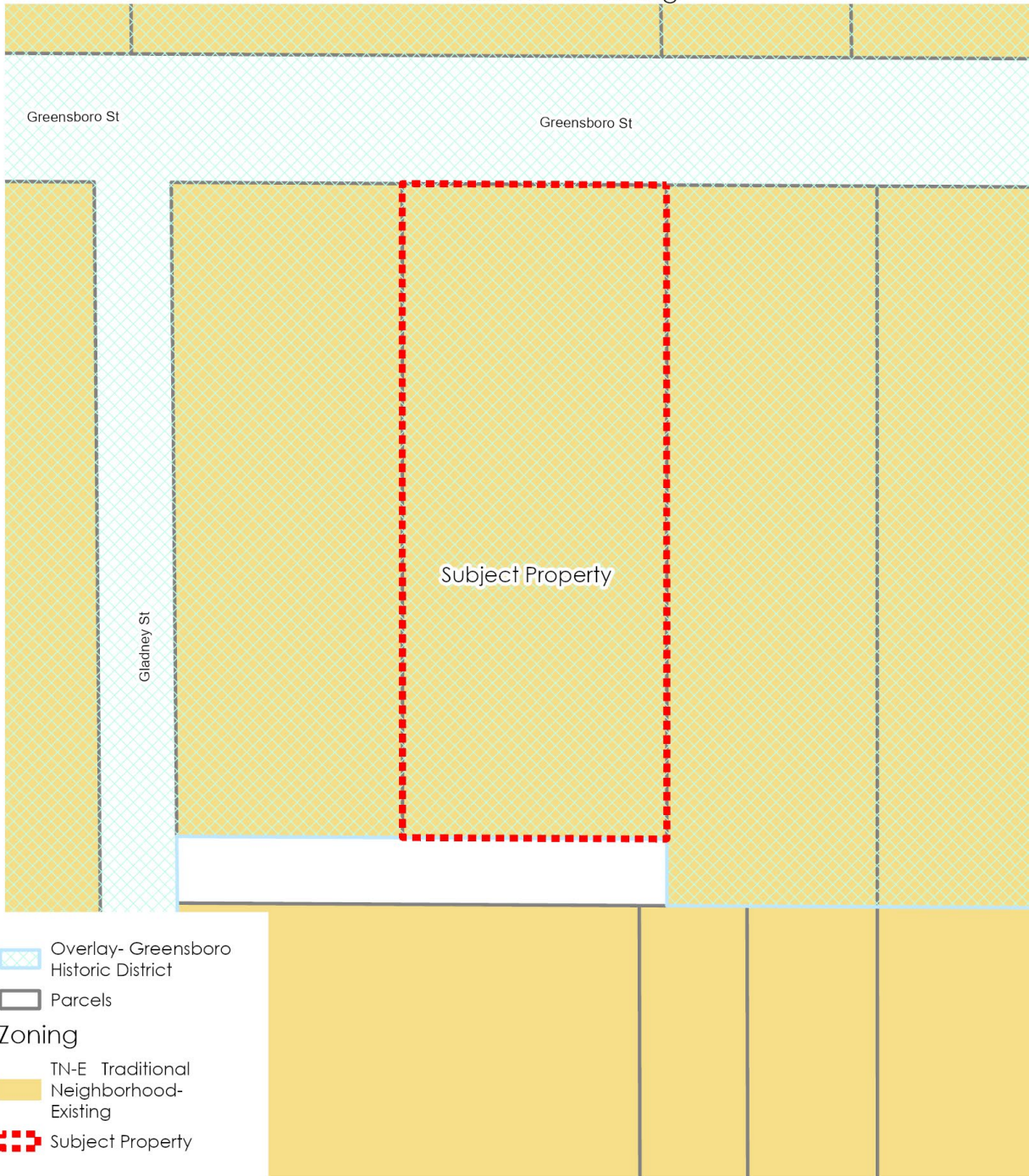
Concrete driveway strips were very popular in the early twentieth century and should be maintained if existing as they are historic in nature and provide less of a visual impact than a full driveway of concrete.

New brick sidewalks, walkways, and driveways for historic properties, should have butt-jointed bricks, or bricks laid without mortar joints. Brick paving is easier to maintain and repair without mortar joints. Bricks can be laid in sand atop a concrete base to provide a level surface. Historically, herringbone was the most popular brick paving pattern. Normally bricks in this pattern were held in place by a border of bricks laid on end.

Attachment 1
COA 24-01 Aerial



Attachment 2
COA 24-01 Zoning



Attachment #3


Certificate of Appropriateness for 521 Greensboro St. made by Robert Camp

Legal Description:

All of Lot 2 of Block 46 as shown on the A.L. Goodman Official Map of the City of Starkville, Mississippi, 1951 Edition on file in the office of the Chancery Clerk of Oktibbeha County, Mississippi.

1st Request:

We would like to replace the short picket fence that is currently on a portion of our rear backyard and replace it with a 8 foot wooden privacy fence that is consistent in height and design with the existing fencing in the rest of our backyard. The existing short picket fencing is barely visible from the street which is why we are submitting the request. Below are images of the existing picket fence and privacy fencing in the backyard of 521 Greensboro St.




Existing picket fence proposing to replace	Existing picket fence proposing to replace
	
	
Existing privacy fencing wanting to match	Existing privacy fencing wanting to match

Attachment #4

2nd Request:

We would like to install a 3.5 foot tall wooden picket fence with a gate along the length of the front property line in our front yard. We plan to mirror the spacing and width of the porch railing posts that are currently on the front porch and historic to the structure.

There are three other properties on Greensboro St. that have fences located in the front yard: 504 Greensboro St. (InFanger Home), 425 Greensboro St. (Tagert home), and 404 Greensboro St. (previously the Reynolds home and now Devlin home).

504 Greensboro St.	425 Greensboro St.	404 Greensboro St.
		

Attachement #5

The front yard fence at 504 Greensboro St. closely resembles the design and height we plan to install at 521 Greensboro St.



The fencing at 504 Greensboro mirrors the design of the porch railings in the height and width of the pickets, railing, trim, posts and caps.

Attachment #6



View of 521 Greensboro St. from across the street looking south. We would like to do fencing on the back of the sidewalk from the edge of the driveway to the property line on the east side of the property.



View of 521 Greensboro from the porch looking north at Greensboro St. We would like to do fencing on the back of the sidewalk from edge of the driveway to the property line on the east side of the property.



View of 521 Greensboro's existing front porch railing that we would like to mimic for the front porch.

STAFF REPORT

To: Members of the Historic Preservation Commission
From: Lyle McCaskey, Assistant City Planner (662-323-2525 ext. 3130)
Daniel Havelin, City Planner (662-323-2525 ext. 3136)
Subject: Discussion and Consideration of COA 24-02 a request for a Certificate of Appropriateness at 512 Greensboro Street in the Greensboro Historic District.
Date: March 26, 2024

The purpose of this report is to provide information regarding Certificate of Appropriateness request by Robert Camp, on behalf of Gemma Camp, to make minor exterior changes to exterior siding, finishes, masonry, walls, and fences on the subject property located at 512 Greensboro Street within the Greensboro Historic District. The property is currently zoned TN-E with property #118O-00-282.00. Please see attachments 1-4.

COA REQUEST:

The applicant is requesting a Certificate of Appropriateness to:

1. Replace existing carport metal posts with 6x6 wooden posts and a Bahamian shutter wall.
2. Replace the damaged side yard fence with rebuilt with wood to match the previous fencing with double gates on the west side of the property and a single gate on the east side of the property.

COA HISTORY:

1. On April 6, 2021, the Board of Aldermen approved a request for a Certificate of Appropriateness (COA 21-02) by Bonn Camp for an addition to an existing home and the addition of a circular drive at 512 Greensboro Street. The approval included:
 - Adding a 5'6" x 13'9" addition for bathroom and closet
 - Adding a new brick paver circular drive

3.16.1. Criteria for issuance of certificates of appropriateness.

The Historic Preservation Commission and the Board of Aldermen shall use the following criteria in approving or denying a certificate of appropriateness:

A. General factors criteria

1. Architectural design of the existing building, structure, or appurtenance and proposed alteration
2. Historical significance of the resource
3. General appearance of the resource
4. Condition of the resource
5. Materials composing the resource
6. Size of the resource

7. The relationship of the above factors, and their effect upon the immediate surroundings and, if within a historic district, upon the district as a whole and its architectural and historical character and integrity.

B. New construction criteria

1. In advance of new construction, steps shall be taken to ensure evaluation of possible archaeological resources, as set forth in the Mississippi Antiquities Act.
2. The following aspects of new construction shall be visually compatible with the buildings and environment with which the new construction is visually related, including but not limited to: the height, the gross volume, the proportion between the width and height of the facade(s), the proportions and relationship between doors and windows, the rhythm of solids to voids created by openings in the facade, materials, textures, colors, patterns, trims, and design of the roof.
3. Existing rhythm created by existing building masses and spaces between them shall be preserved.
4. The landscape plan shall be compatible with the resource, and it shall be visually compatible with the environment with which it is visually related. Landscaping shall also not prove detrimental to the fabric of a resource, or adjacent public or private improvements like sidewalks and walls.
5. No specific architectural style shall be required.

C. Exterior alteration criteria

1. All exterior alterations to a building, structure, object, site, or landscape feature shall be compatible with the historic resource itself and other resources with which it is related, and the original design of a building, structure, object, or landscape feature shall be considered in applying these standards.
2. Exterior alterations shall not affect the architectural character or historic quality of a landmark and shall not destroy the significance of landmark sites.

D. Demolition criteria. In considering an application for the demolition of a landmark or a historic resource within a historic district, the following shall be considered:

1. The Historic Preservation Commission shall consider the individual architectural, cultural, and/or historical significance of the historic resource.
2. The Historic Preservation Commission shall consider the importance or contribution of the resource to the architectural character of the district.
3. The Historic Preservation Commission shall consider the importance or contribution of the resource to neighboring property values.
4. The Historic Preservation Commission shall consider the difficulty or impossibility of reproducing such a resource because of its texture, design, material, or detail.
5. Following recommendation for approval of demolition, the applicant must seek approval of replacement plans, set forth in Section 3.16.1 B, prior to receiving a demolition permit and other permits. Replacement plans for this purpose shall include, but shall not be restricted to, project concept, preliminary elevations and site plans, and completed working drawings for at

least the foundation plan which will enable the applicant to receive a permit for foundation construction.

6. Applicants that have received approval for demolition shall be permitted to receive a demolition permit from the Building Department, following the approval of a certificate of appropriateness by the Board of Aldermen, approval by appropriate city departments, and approval by any other agency that has jurisdiction over the resource. Permits for demolition and construction shall be issued simultaneously if requirements of the Unified Development Code are met, and the applicant provides financial proof of his ability to complete the project.

STANDARDS FOR STARKVILLE'S HISTORIC DISTRICTS RECOMMEND:

ADDITIONS TO HISTORIC BUILDINGS

An addition to a historic structure can be visually disruptive. Before contemplating an addition look for ways to alter nonsignificant interior spaces to accommodate new needs. If that is not possible, new additions should be made in a manner that preserves the character and detailing of the historic building. A new addition should not be radically different, nor should it mimic exactly the appearance of the historic building. A new addition should be clearly differentiated from the old, so the addition reads as an addition and not as part of the historic building. A new addition to a historic building is considered to be successful if it preserves significant historic materials and features, preserves the existing historic character, and protects the historic significance by making a visual distinction between what is old and what is new.

Existing additions should be preserved if they are over fifty years old or were done without sacrifice to the architectural integrity of the historic building. However, not all additions are significant and worthy of preservation. Many later additions were poorly designed and constructed and they detracted from the original form, materials, or craftsmanship of the historic building to which they were added.

Many new additions are needed as modern bathrooms, kitchens, and additional living space. Some historic houses simply cannot accommodate the necessities of modern living within the existing exterior walls. If the house has a rear porch, an option to provide more interior space would be to enclose all or a portion of the porch, being careful not to alter the character defining features of the porch. An addition should be designed so it is secondary to the original building. It should be smaller than the original building and sited in a secondary position, such as on the rear or an inconspicuous side. It should be made of materials similar to those on the historic building. Adding a brick addition to a historic frame building is inappropriate because the texture and color of the brick will draw attention to the addition. Likewise, roof material should be similar. If siding materials on the addition matches those on the original structure, vertical trim should be used to visually differentiate the junction between old and new sections. Existing corner boards and trim elements

The scale and rhythm of features on the historic building should be incorporated into the addition design. Using similar height lines for doors and windows and a similar rhythm of the openings will help the addition harmonize with the historic building. Architectural detailing should complement rather than exactly duplicate the detailing of the historic resource. If the historic building has an elaborate Queen Anne- or Colonial Revival-style doorway, the entrance to a new addition should be compatible but plain, to keep the focus on the historic doorway.

Any new addition should be designed to be reversible without significant damage being done to the historic building or any loss of its architectural detailing. For example, if an addition or porch enclosure obscures an original window, retain the window in place and close the shutter. If built-ins in a new addition or enclosure of a porch renders an original doorway inoperable, retain the doorway and convert it into a shallow closet with shelving.

Generally, the most successful way to add space to a historic building is to construct a small hyphen or connector to the addition from the house. This results in minimal damage to the historic building and clearly differentiates the new from the old. When added to a historic house, the hyphen sometimes takes the form of a covered walkway, which can be sided with lattice or jalousies. Connectors between historic commercial buildings and additions sometimes include glass walls, which leave the exterior wall of the historic building visible. Architectural hyphens or connectors should be recessed from the streetscape.

SECRETARY OF THE INTERIOR'S RECOMMENDATIONS -NEW ADDITIONS TO HISTORIC BUILDINGS

Recommended:

Placing functions and services required for the new use in non-character-defining interior spaces rather than constructing a new addition.

Not Recommended:

Expanding the size of the historic building by constructing a new addition when the new use could be met by altering non-character defining interior spaces.

Recommended:

Constructing a new addition so that there is the least possible loss of historic materials and so that character defining features are not obscured, damaged, or destroyed.

Not Recommended:

Attaching a new addition so that the character-defining features of the historic building are obscured, damaged, or destroyed.

Recommended:

Locating the attached exterior addition at the rear or on an inconspicuous side of a historic building; and limiting its size and scale in relationship to the historic building.

Not Recommended:

Designing a new addition so that its size and scale in relation to the historic building are out of proportion, thus diminishing the historic character.

Recommended:

Designing new additions in a manner that makes clear what is historic and what is new.

Not Recommended:

Duplicating the exact form, material, style, and detailing of the historic building in the new addition so that the new work appears to be part of the historic building. Imitating a historic style or period of architecture in new additions, especially for contemporary uses such as drive-in banks or garages.

Recommended:

Considering the attached exterior addition both in terms of the new use and the appearance of other buildings in the historic district or neighborhood. Design for the new work may be contemporary or may reference design motifs from the historic building. In either case, it should always be clearly differentiated from the historic building and be compatible in terms of mass, materials, relationship of solids to voids, and color.

APPENDIX B: LANDSCAPE RECOMMENDATIONS**SIDEWALKS, WALKWAYS, DRIVEWAYS, COURTYARDS, AND PATIOS**

Paved sidewalks, walkways, driveways, courtyards, and patios are all landscape features that are associated with urban buildings. Rural communities generally had graveled drives and graveled walks, with brick used sparingly as an exterior paving material.

In more urban areas, brick was the most common paving material in the nineteenth century, and it was typically laid without mortar on a bed of sand. The use of concrete as a paving material for sidewalks, walkways, and driveways began in the early twentieth century.

REPLACEMENT, ALTERATION, AND INSTALLATION

If repairing historic paving is not possible, new paving should be installed to match the deteriorated original paving in color and size.

Driveways and parking areas paved with concrete are usually additions to historic buildings built before 1920. Excepting patios and courtyards, the installation of new paving is generally a response to the growing number of cars. In accommodating

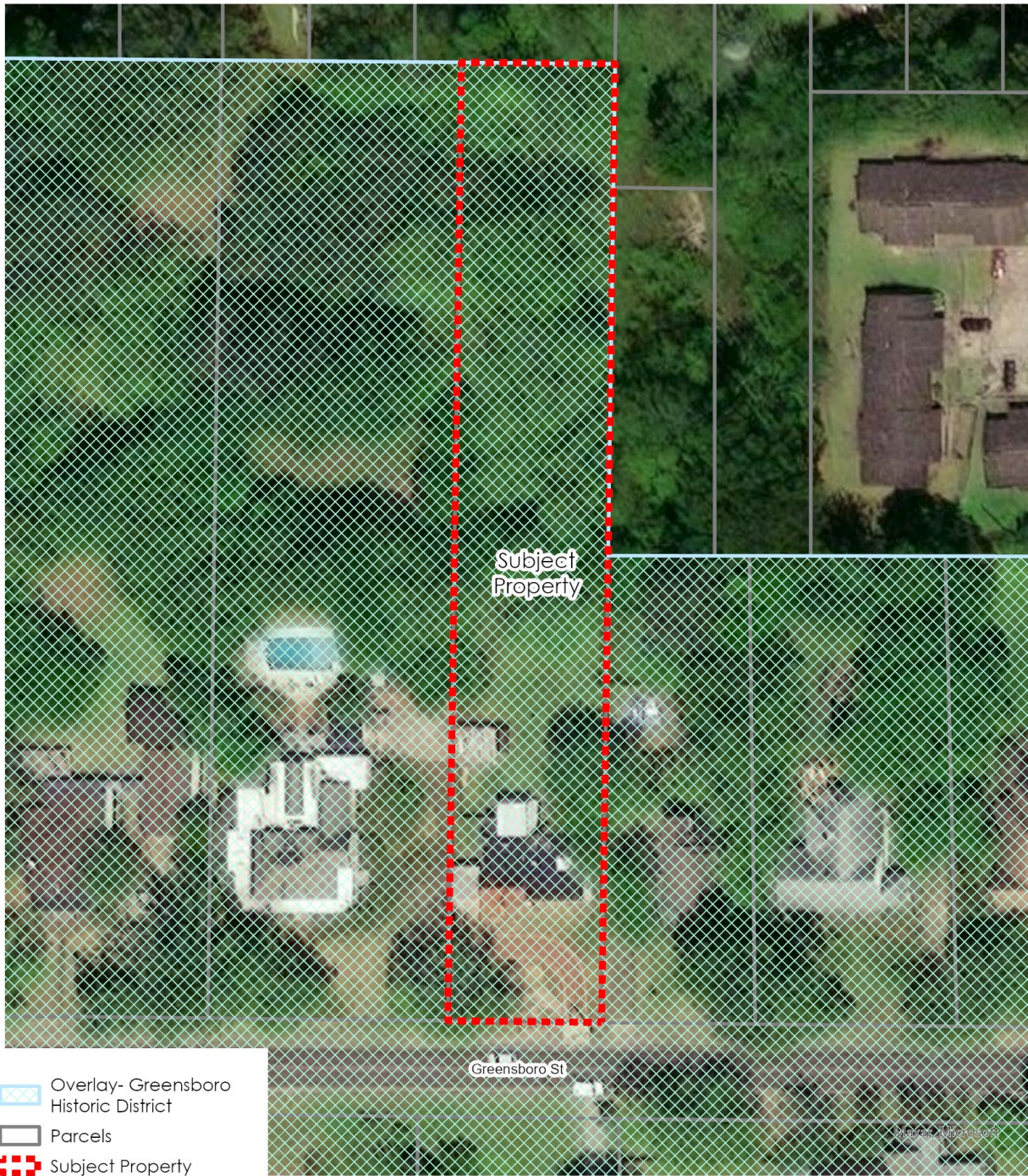
new driveways, parking areas, and walkways, property owners should consider the historic character of the site and the setting, as well as the materials used for paving. New paved driveways and parking areas need to be as unobtrusive as possible.

Install new paved driveways or parking areas in the least conspicuous part of the historic property. Circular driveways or parking areas should not be installed in front of historic buildings, unless historically documented. The paving of a long gravel driveway is also inappropriate because it gives historic properties a modern subdivision appearance. Asphalt is not an appropriate paving material for driveways and parking areas on historic properties. Also inappropriate is concrete stamped to resemble brick or cobblestone paving. Recommended paving materials are red brick, concrete, and exposed-aggregate concrete.

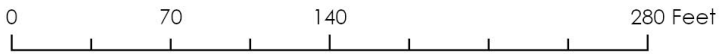
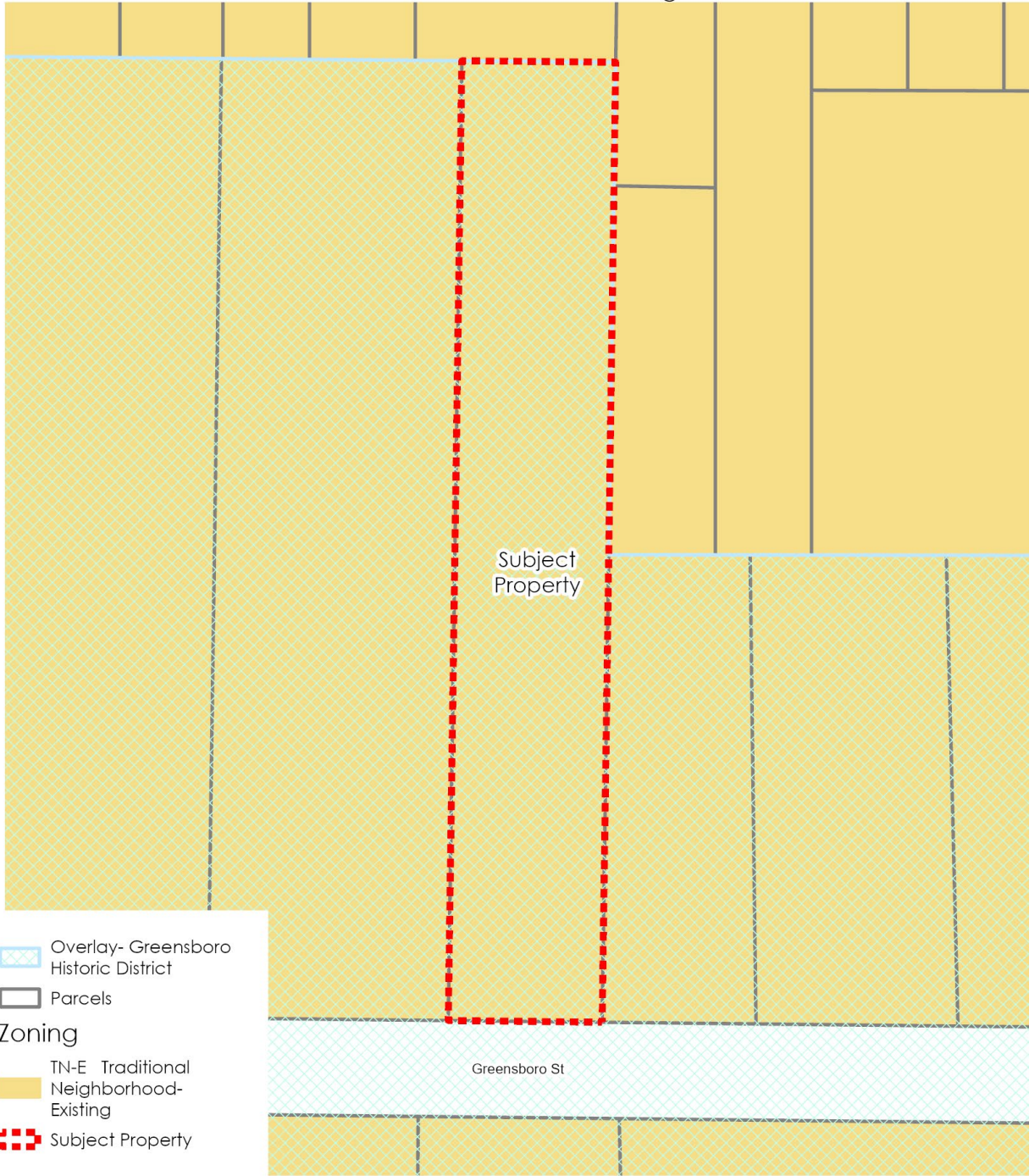
Concrete driveway strips were very popular in the early twentieth century and should be maintained if existing as they are historic in nature and provide less of a visual impact than a full driveway of concrete.

New brick sidewalks, walkways, and driveways for historic properties, should have butt-jointed bricks, or bricks laid without mortar joints. Brick paving is easier to maintain and repair without mortar joints. Bricks can be laid in sand atop a concrete base to provide a level surface. Historically, herringbone was the most popular brick paving pattern. Normally bricks in this pattern were held in place by a border of bricks laid on end.

Attachment 1
COA 24-02 Aerial

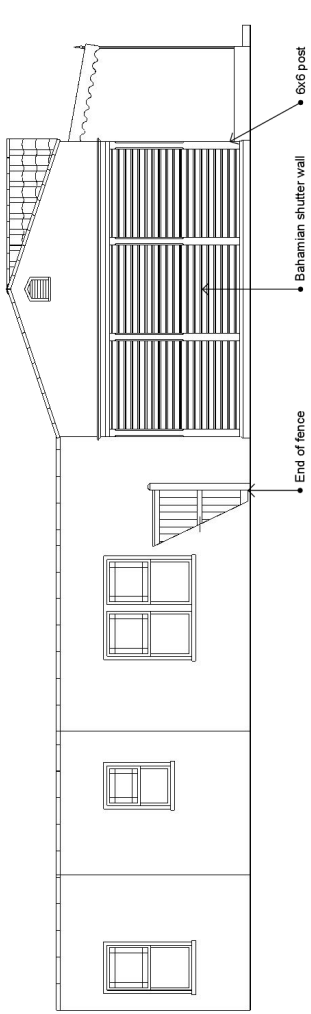


Attachment 2
COA 24-02 Zoning

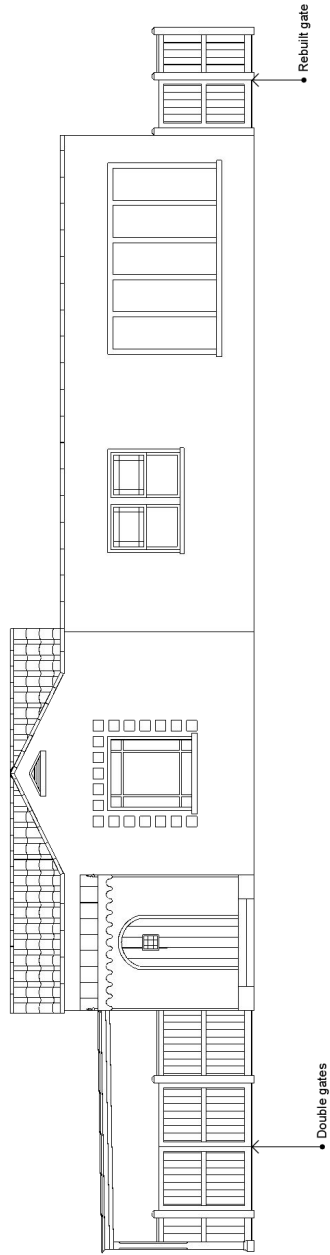


Attachment #3

CLIENT Gemma Camp	ISSUE 512 Greensboro St 4.24	PROJECT 512 Greensboro St	DRAWN BY Bonn Camp
			a
			01



West Elevation



South Elevation

Attachment #4

Certificate of Appropriateness for 512 Greensboro St. made by Robert Camp

1st Request:

We would like to replace the existing carport metal posts with 6x6 wooden posts and a bahamian shutter wall.

2nd Request:

We would like to replace the damaged sideyard fencing with rebuilt wooden fencing to match the previous fencing with double gates on the westside of the property and a single gate on the east side of the property.



Below are photos of the existing carport and sideyard at 512 Greensboro St. The carport is currently having to be held up by a temporary wooden post due to damage to the existing post.