



**OFFICIAL AGENDA  
LANDSCAPE ADVISORY BOARD  
CITY OF STARKVILLE, MISSISSIPPI  
MEETING OF WEDNESDAY, SEPTEMBER 2, 2020  
2<sup>ND</sup> FLOOR OF CITY HALL IN ROOM 211  
110 WEST MAIN STREET AT 11:00 AM**

- I. CALL TO ORDER
- II. ROLL CALL
- III. CONSIDERATION OF THE OFFICIAL AGENDA
- IV. NEW BUSINESS
  - A. LW 20-01 REQUEST FOR LANDSCAPE WAIVERS FROM TREE PROTECTION AND PERIMETER PARKING LOT LANDSCAPE REQUIREMENTS AT 600 HIGHWAY 12 WEST IN A C ZONING DISTRICT WITH THE PARCEL NUMBER 102F-00-053.00
- V. ADJOURN



**THE CITY OF STARKVILLE**  
**PLANNING DEPARTMENT**  
**LANDSCAPE ADVISORY BOARD**  
CITY HALL, 110 WEST MAIN STREET  
STARKVILLE, MISSISSIPPI 39759

**STAFF REPORT**

**To:** Members of the Landscape Advisory Board  
**From:** Daniel Havelin, City Planner (662-323-2525 ext. 3136)  
Emily Corban, Assistant City Planner (662-323-2525 ext. 3138)  
**Subject:** LW 20-01 Request for Landscape Waivers from tree protection and perimeter parking lot landscape requirements at 600 Highway 12 West in a C zoning district with the parcel number 102F-00-053.00  
**Date:** September 2, 2020

The purpose of this report is to provide information regarding a Landscape Waiver Request by Zach Foster, of Neel-Schaffer, Inc. on behalf of Castle Properties for 3 landscape waivers for a proposed shopping center development located at 600 Highway 12 West in a C zoning district with the parcel number 102F-00-053.00. Please see attachments 1- 4.

**BACKGROUND INFORMATION**

The applicant is designing a proposed shopping center located at the current site of Garan Inc. The current tenant is in the process of constructing a new facility at NorthStar Industrial Park. Once they have relocated, the intent is to begin construction of a proposed shopping center currently named @12. The applicant submitted a site plan for review by the Development Review Committee (DRC). The project was reviewed by the DRC at the July 16, 2020 meeting. Issues with the landscaping and tree protection requirements were discussed. The applicant chose to apply for a waiver from the requirements instead of a redesign of the site plan. The applicant is requesting 3 landscape waivers from 2 sections of the Unified Development Code (see below). On August 20, 2019 and September 3, 2019, the Board of Aldermen and County Board of Supervisors approved a \$3 million TIF (Tax Increment Financing) for the development on the subject property. If the request for landscape waiver is recommended for approval or denial, the applicant's requests will be heard by the Board of Aldermen at the September 15, 2020 meeting.

**VARIANCE REQUEST FROM**

1. **Tree Protection in Building Setback**- Section 16.7.4.- Requires that 50% of trees with a DBH of 10 inches or more and all trees with a DBH of 30 inches or more be preserved and protected within the building setbacks
  - a. **Request:** request waiver to remove all 63 existing trees within the building setback lines
  - b. **Reasoning:** to accommodate the footprint of the proposed development and required number of parking stalls in lieu of the requirements.
2. **Canopy Trees in Perimeter Island along southern property line**- Section 14.6.2. (Page 14-15)- Requires one canopy tree for every 30 linear feet of perimeter island next to adjacent property
  - a. **Request:** request waiver to install an attractive wooden privacy fence along the top of the proposed retaining wall at the rear lot line in lieu of the 26 canopy trees required by Section 14.6.2 – Development Standards Chart
  - b. **Reasoning:** Due to limited space and the fact that the adjacent property along the rear lot line is an existing railroad owned by Kansas City Southern.
3. **Continuous Row of Shrubs planted along entire length of the perimeter island**- Section 14.6.2. (Page 14-16)-Required a continuous row of shrubs be planted along the entire length of the perimeter island next to adjacent property with a mature minimum height of three (3) feet and a maximum spacing of ninety percent (90%) of the shrubs expected spread within (3) years of planting.

- a. **Request:** request waiver to install an attractive wooden privacy fence along the top of the proposed retaining wall at the rear lot line in lieu of the 26 canopy trees required by Section 14.6.2 – Development Standards Chart
- b. **Reasoning:** Due to limited space and the fact that the adjacent property along the rear lot line is an existing railroad owned by Kansas City Southern.

### **CRITERIA FOR LANDSCAPE WAIVER REVIEW AND APPROVAL (Section 3.11.1)**

#### 3.7.1. Criteria for variance review and approval.

- A. Special Conditions. That special conditions and circumstances exist which are peculiar to the land, structure, or building involved, and the same conditions are not applicable to other land, structures, and buildings in the surrounding area.
- B. Literal Interpretation. That the literal interpretation of the provisions of this Code would deprive the applicant of rights commonly enjoyed by other properties in the same district under the terms of this Code.
- C. Hardship. That the hardship has not resulted from the actions of the applicant.
- D. Special Privilege. That granting the landscape waiver requested will not confer on the applicant any special privilege that is denied by this Code to other properties in the same district.
- E. Minimum Variance. That granting the waiver is the minimum waiver that will make possible the reasonable use of the property.
- F. Consistency with Comprehensive Plan. That the granting of the waiver will be in harmony with the general purpose and intent of this ordinance, and will not be injurious to surrounding areas or otherwise detrimental to the public welfare.

### **ANALYSIS**

In the opinion of the Planning Department the proposed variance request could meet the criteria for variance review and approval. The request to remove approximate +/-63 trees from within the building setback lines could be justified by the applicant's proposal to install canopy trees around the perimeter as required. The current plan shows approximately +/-64 canopy trees around the perimeter. The conceptual plan shows approximately 11 small trees along the perimeter. Those trees will be required to be canopy trees. Thus, bringing the total number of proposed canopy trees on the perimeter of the property to +/-75. The request to remove the required canopy and shrubs on the southern property line could be justified because of the amount of utilities being proposed in the rear of the building. In addition to underground water and sewer, overhead power will most likely be placed in the rear of the building creating conflict for any proposed trees. If approved, staff recommends requiring an 8' good neighbor fence along the length of the southern property line.

### **CONDITIONS OF APPROVAL**


Any condition attached to the approval of a landscape waiver by the Mayor and Board of Aldermen shall run with the land and shall be binding upon the applicants, their heirs, and successors.

Attachment 1  
LW 20-01 Aerial



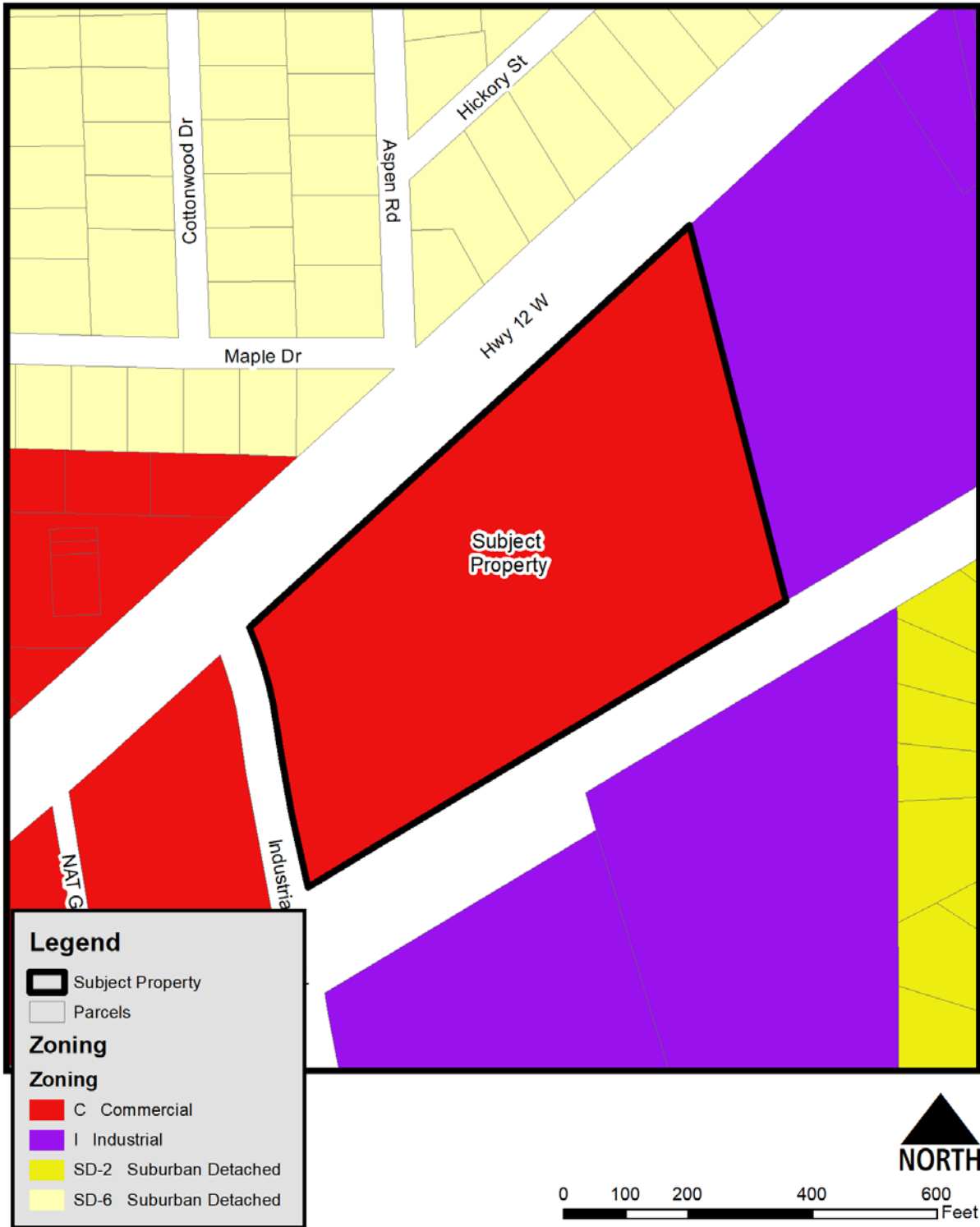
**Legend**

-  Subject Property
-  Parcels

  
**NORTH**

0 100 200 400 600  
Feet

Attachment 2  
LW 20-01 Zoning



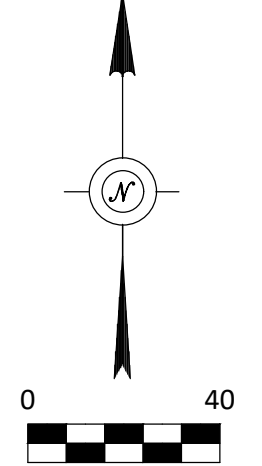


WAIVER REQUESTED TO REMOVE TREES

WAIVER REQUESTED TO REMOVE TREES

WAIVER REQUESTED TO INSTALL PRIVACY FENCE ALONG EXISTING RAILROAD TRACKS (100.0' R.O.W.) TOP OF RETAINING WALL IN LIEU OF CANOPY TREES ALONG REAR LOT LINE

WAIVER REQUESTED TO REMOVE TREES



**NOTICE TO DRAWING HOLDER**

NEEL-SCHAFFER, INC., HERINAFTER REFERRED TO AS THE ENGINEER HAS PREPARED AND FURNISHED THIS DRAWING TO THE OWNER FOR USE ON THIS PROJECT ONLY. THIS DRAWING SHOULD NOT BE USED ON EXTENSIONS OF THIS PROJECT OR ON ANY OTHER PROJECT. ANY REUSE OF THIS DRAWING, WITHOUT WRITTEN VERIFICATION OR ADAPTION BY THE ENGINEER, SHALL BE AT THE REUSER'S SOLE RISK AND THE REUSER SHALL INDEMNIFY AND HOLD HARMLESS THE ENGINEER FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING ATTORNEY'S FEES ARISING OUT OF OR RESULTING THEREFROM.

REVISIONS				DRAWING INFORMATION	
NO.	DATE	BY	DESCRIPTION		
				N-S PROJECT NO.: NS:15230.000	
				FILENAME:	
				SCALE:	
				SURVEYED BY:	
				DSGN: ZJF	DATE: 07/2020
				DRWN: MRC	DATE: 07/2020
				CHKD:	DATE:
				QA/QC:	DATE:

**@ 12 SITE DEVELOPMENT**  
**MS HWY 12 & INDUSTRIAL PARK ROAD**  
**STARKVILLE, MISSISSIPPI**

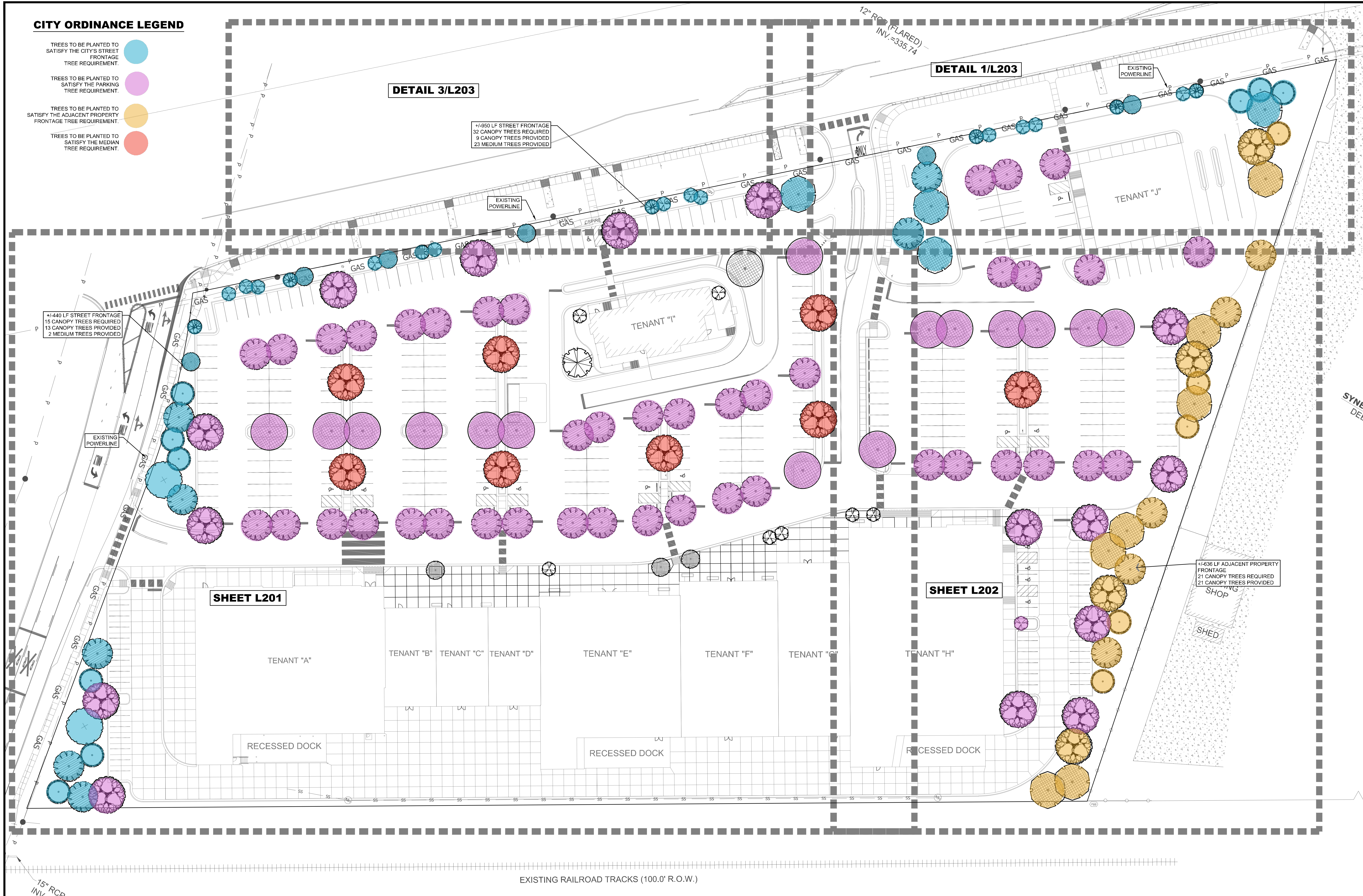


**LANDSCAPE WAIVER EXHIBIT**

WORKING NUMBER:      DRAWING NUMBER:

**CITY ORDINANCE LEGEND**

- TREES TO BE PLANTED TO SATISFY THE CITY'S STREET FRONTAGE TREE REQUIREMENT. 
- TREES TO BE PLANTED TO SATISFY THE PARKING TREE REQUIREMENT. 
- TREES TO BE PLANTED TO SATISFY THE ADJACENT PROPERTY FRONTAGE TREE REQUIREMENT. 
- TREES TO BE PLANTED TO SATISFY THE MEDIAN TREE REQUIREMENT. 



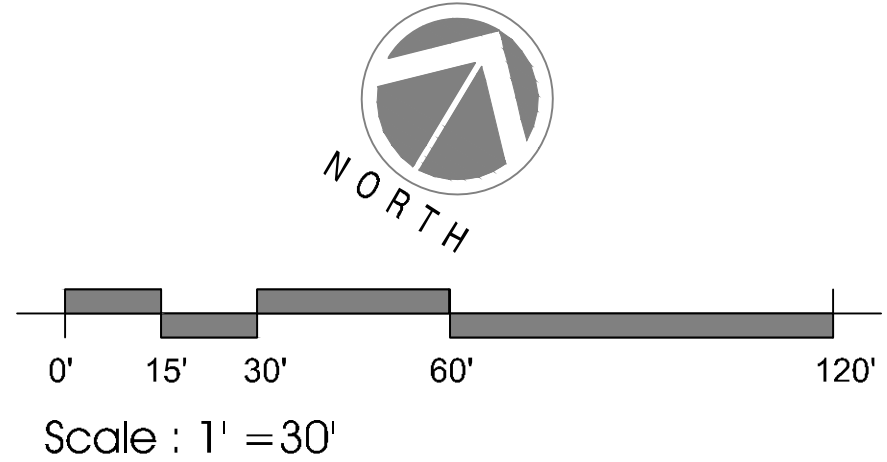
DETAIL 3/L203

DETAIL 1/L203

SHEET L201

SHEET L202

**1 PLANTING KEYPLAN**



**NOT FOR CONSTRUCTION**  
 THESE PLANS ARE BEING SUBMITTED FOR PRELIMINARY ARCHITECTURAL REVIEW AND ARE SUBJECT TO CHANGE BASED ON FEEDBACK FROM CITY.

TRENT RHODES  
 LANDSCAPE ARCHITECT P.A.  
 P.O. Box 468 Brandon, Mississippi 39042  
 Tel: 601-962-0070

Dean and Dean/Associates architects a professional association

ARCHITECTURE • PLANNING • INTERIOR DESIGN

P.O. Box 4685 Jackson, MS 39296 4400 Old Canton Rd., Suite 200 Highland Bluff Jackson, MS 39211(601) 939-7717 www.deandean.com

SCHEMATICS NOT FOR CONSTRUCTION

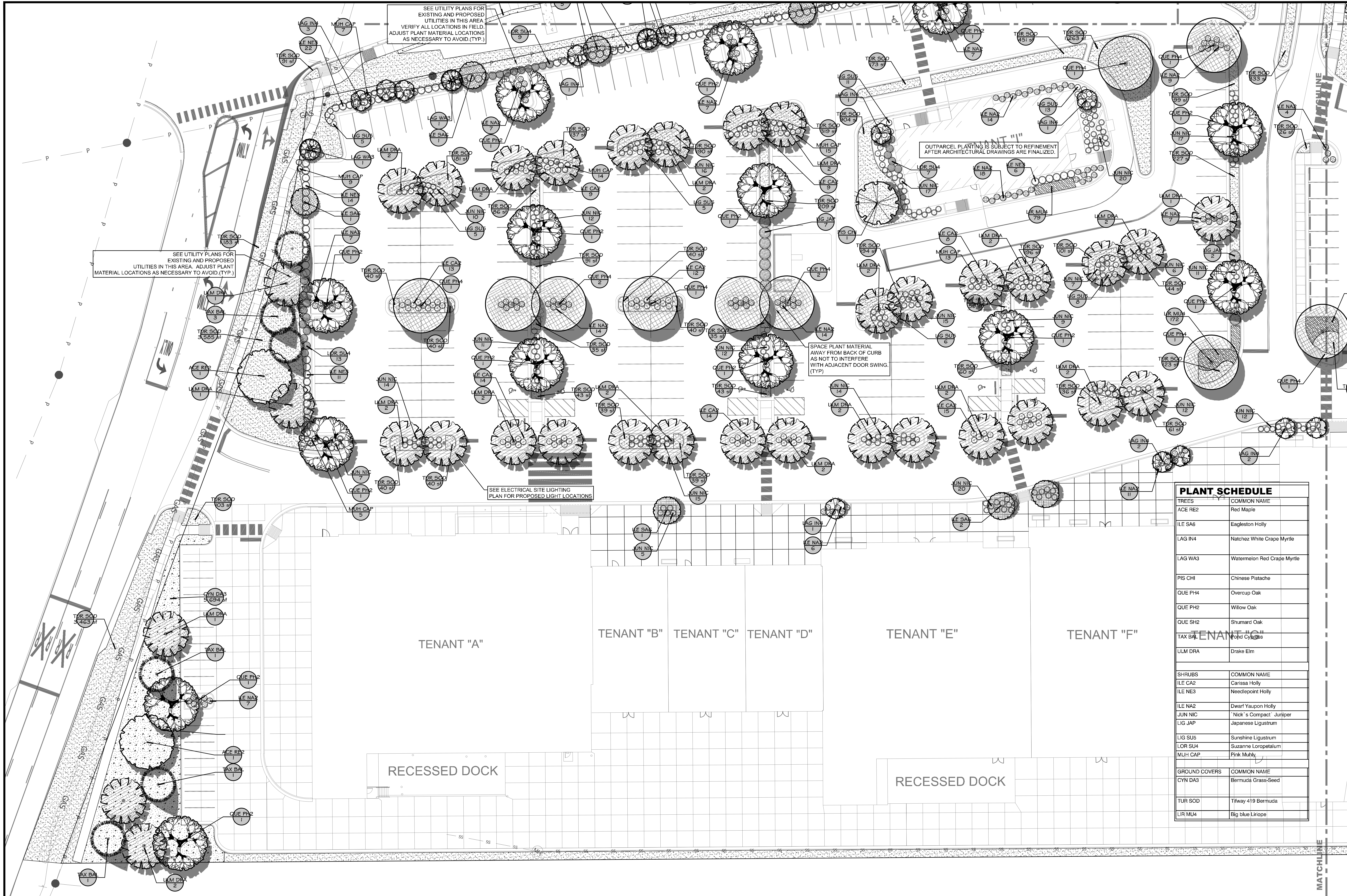
Project No: 20008 Revisions:  
 Date: AUGUST 3, 2020  
 Drawn: TR  
 Checked: TR

STARKVILLE RETAIL HWY 12

STARKVILLE, MISSISSIPPI

L200 of Sheets

PLANTING KEYPLAN



SEE UTILITY PLANS FOR EXISTING AND PROPOSED UTILITIES IN THIS AREA. ADJUST PLANT MATERIAL LOCATIONS AS NECESSARY TO AVOID (TYP.)

SEE UTILITY PLANS FOR EXISTING AND PROPOSED UTILITIES IN THIS AREA. VERIFY ALL LOCATIONS IN FIELD. ADJUST PLANT MATERIAL LOCATIONS AS NECESSARY TO AVOID (TYP.)

OUTPARCEL PLANTING IS SUBJECT TO REFINEMENT AFTER ARCHITECTURAL DRAWINGS ARE FINALIZED.

SPACE PLANT MATERIAL AWAY FROM BACK OF CURB AS NOT TO INTERFERE WITH ADJACENT DOOR SWING (TYP.)

SEE ELECTRICAL SITE LIGHTING PLAN FOR PROPOSED LIGHT LOCATIONS

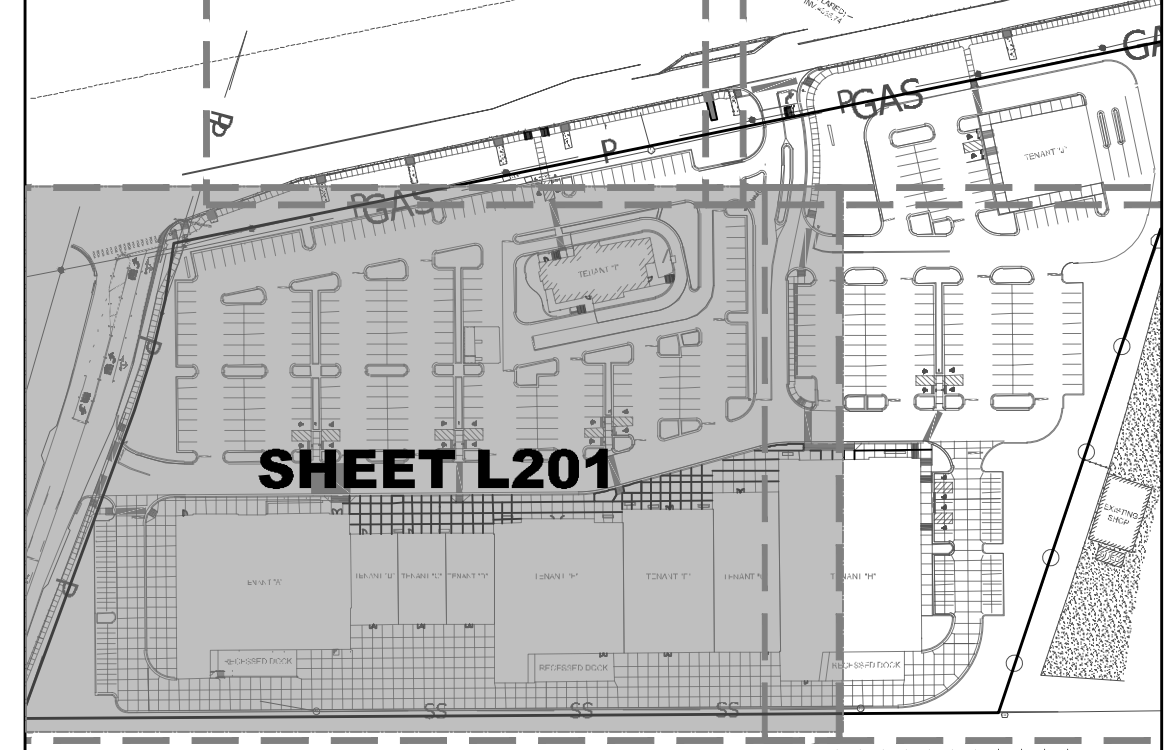
TREES	COMMON NAME
ACE RE2	Red Maple
ILE SA6	Eagleston Holly
LAG IN4	Natchez White Crape Myrtle
LAG WA3	Watermelon Red Crape Myrtle
PIS CHI	Chinese Pistache
QUE PH4	Overcup Oak
QUE PH2	Willow Oak
QUE SH2	Shumard Oak
TAX BA1	Florida Cypress
ULM DRA	Drake Elm

SHRUBS	COMMON NAME
ILE CA2	Canessa Holly
ILE NE3	Needlepoint Holly
ILE NA2	Dwarf Yaupon Holly
JUN NIC	'Nick's Compact' Juniper
LIG JAP	Japanese Ligustrum
LIG SU5	Sunshine Ligustrum
LOR SU4	Suzanne Loropetalum
MUH CAP	Pink Muhly

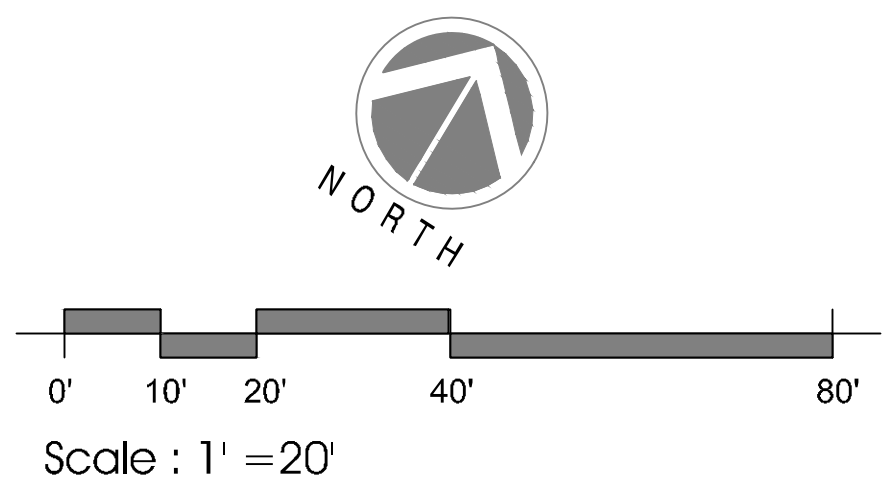
  

GROUND COVERS	COMMON NAME
CYN DA3	Bermuda Grass-Seed
TUR SOD	Tifway 419 Bermuda
LIR MU4	Big blue Liriope



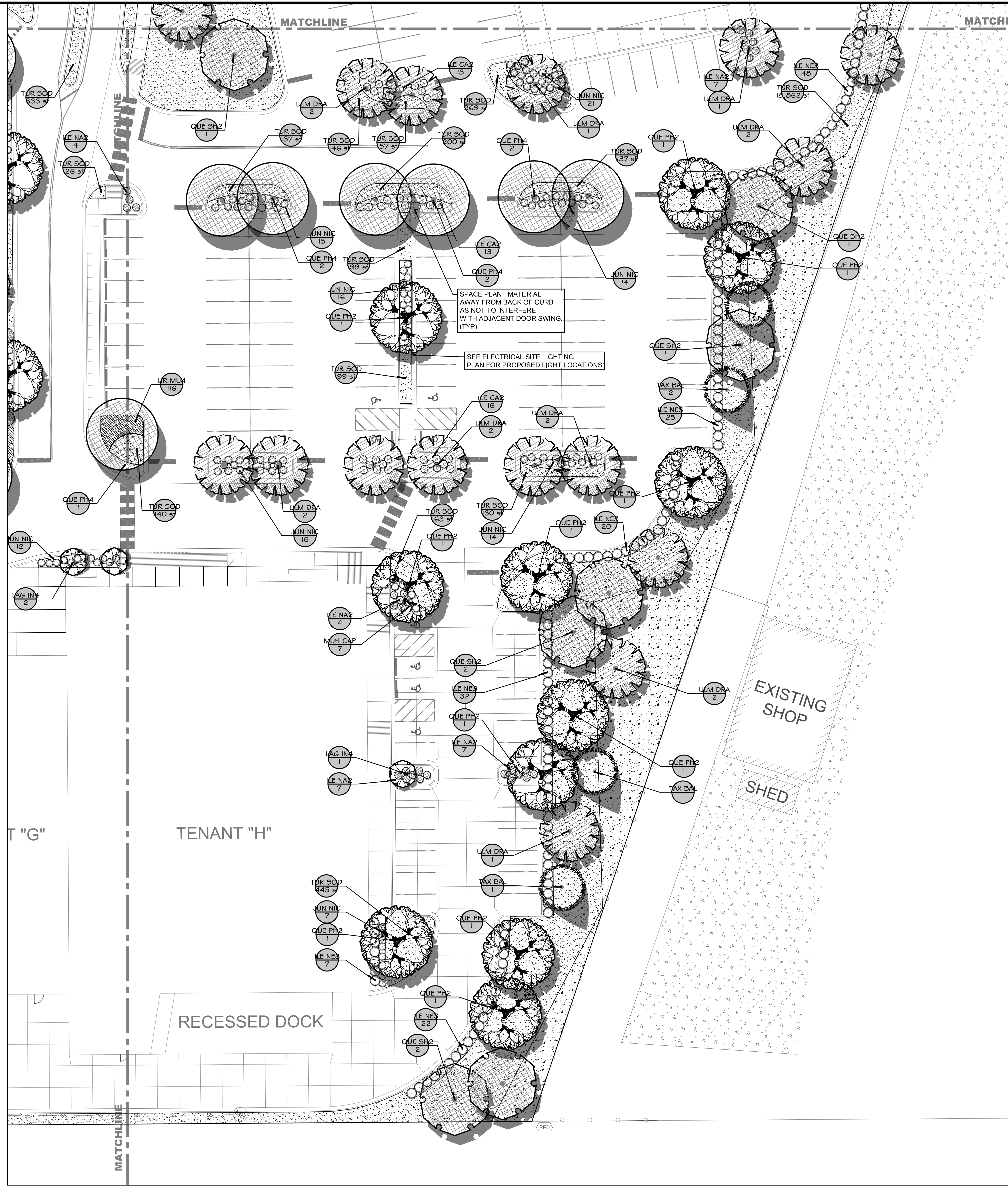
2 KEYPLAN NOT TO SCALE

1 PLANTING PLAN-WEST



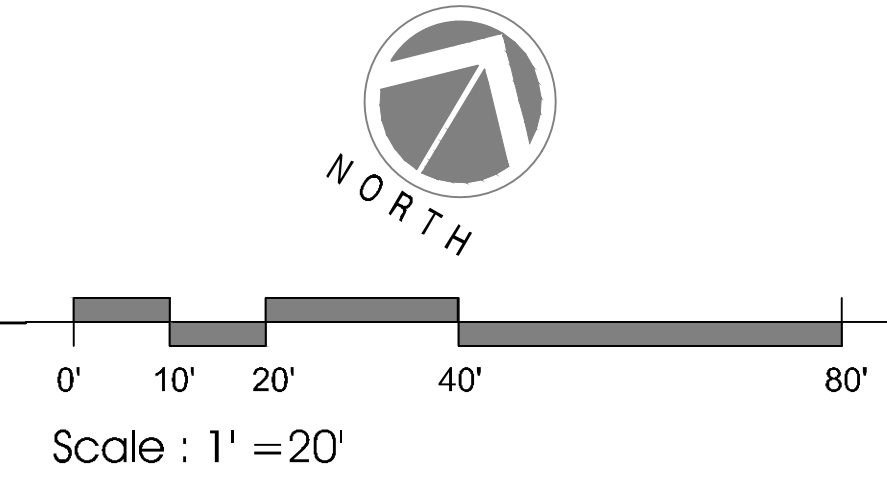
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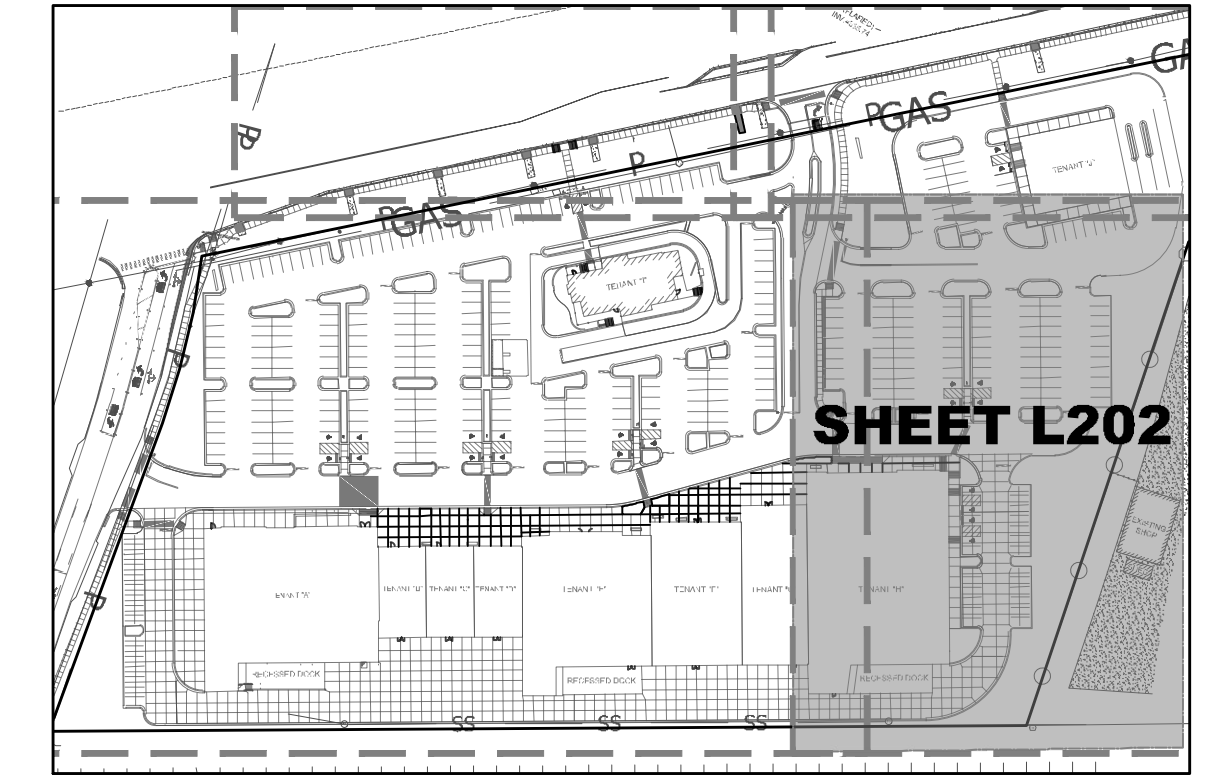
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L202

**PLANTING PLAN-EAST**



**PLANT SCHEDULE**

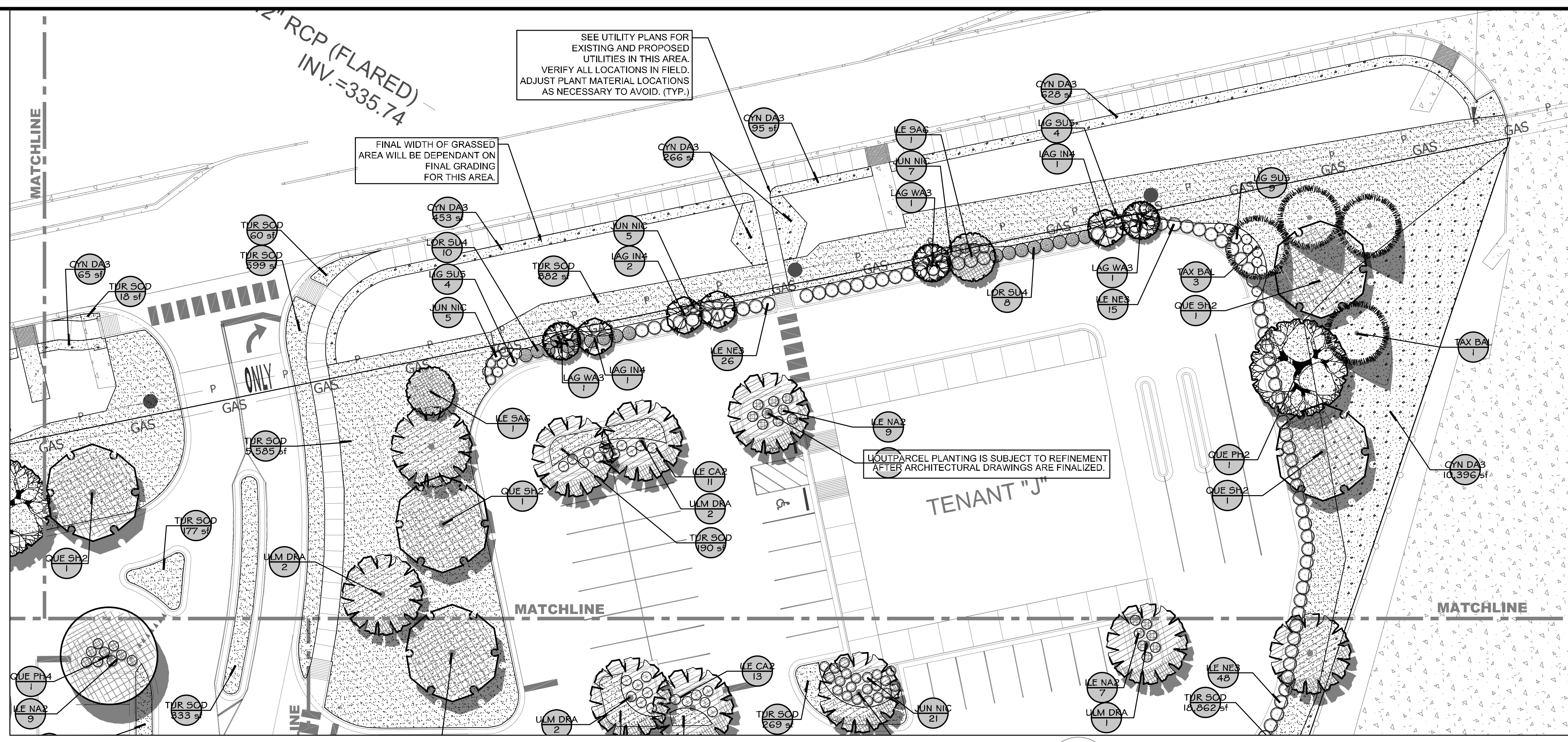
TREES	COMMON NAME
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LAG IN4	Natchez White Crape Myrtle
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QUE SH2	Shumard Oak
TAX BAL	Pond Cypress
ULM DRA	Drake Elm
SHRUBS	COMMON NAME
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ILE NA2	Dwarf Yaupon Holly
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GROUND COVERS	COMMON NAME
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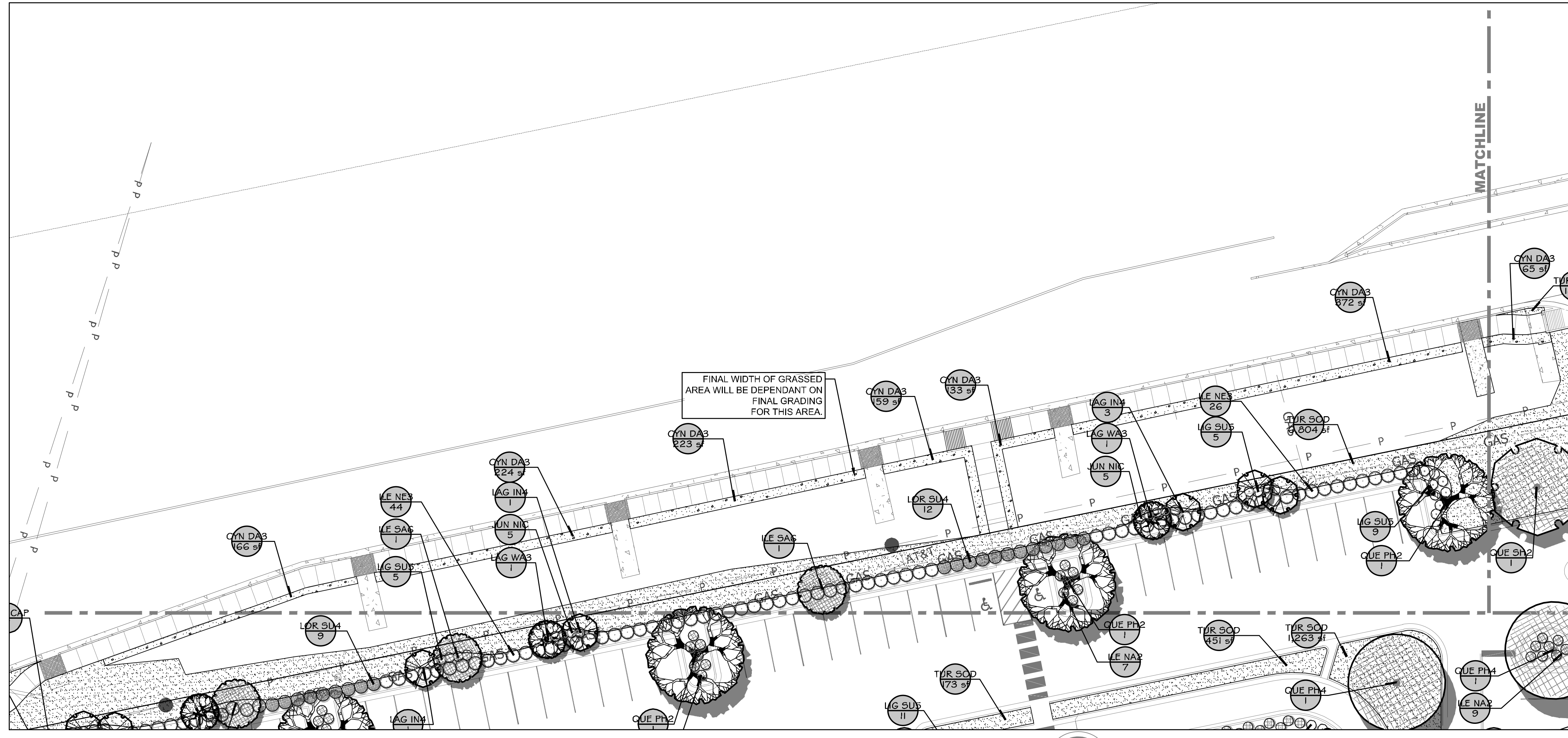
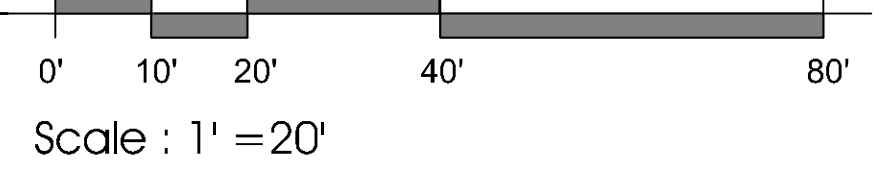
2  
L202  
NOT TO SCALE

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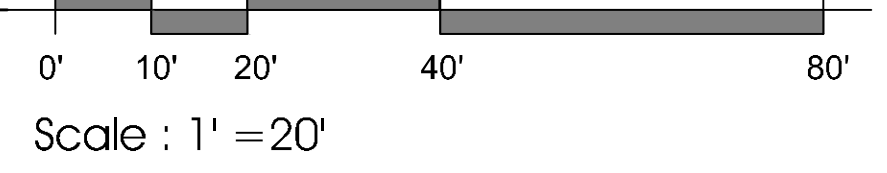
+ TRENT RHODES  
 LANDSCAPE ARCHITECT  
 P.A.  
 P.O. Box 4685 Jackson, Mississippi 39242  
 Tel: 601-962-0070



1 PLANTING PLAN-NORTHEAST

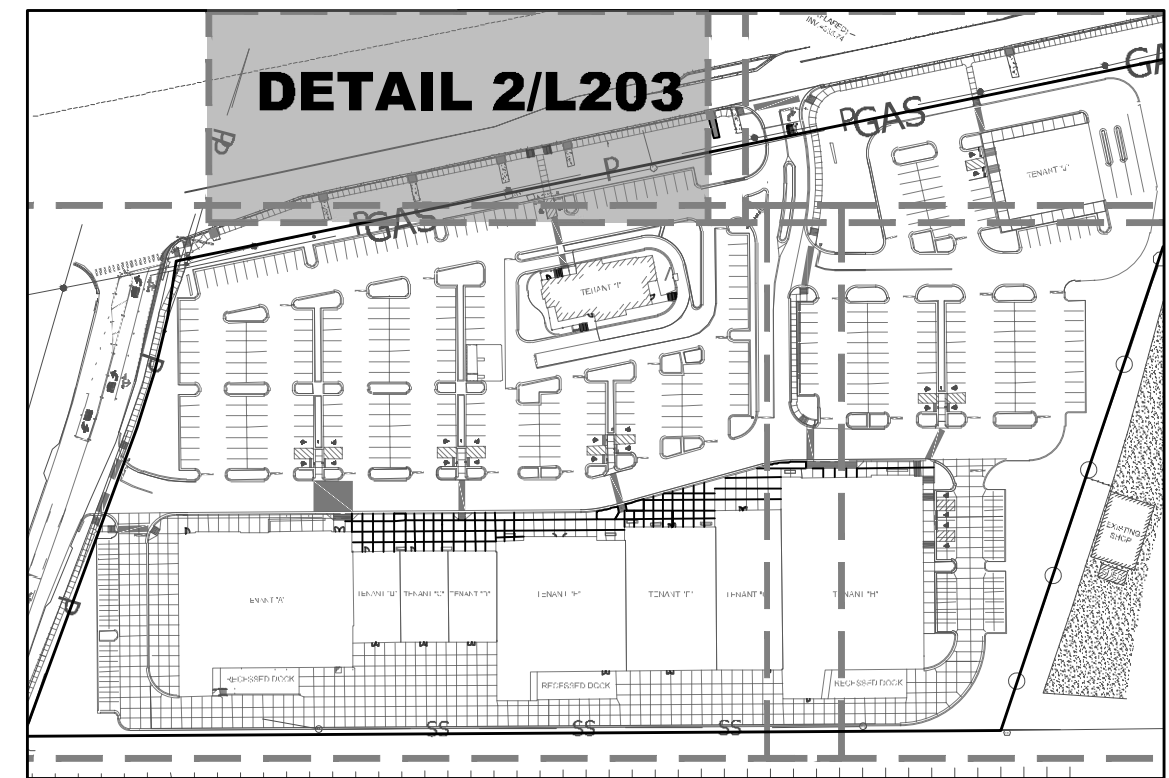


3 PLANTING PLAN-NORTHWEST



2 KEYPLAN NOT TO SCALE

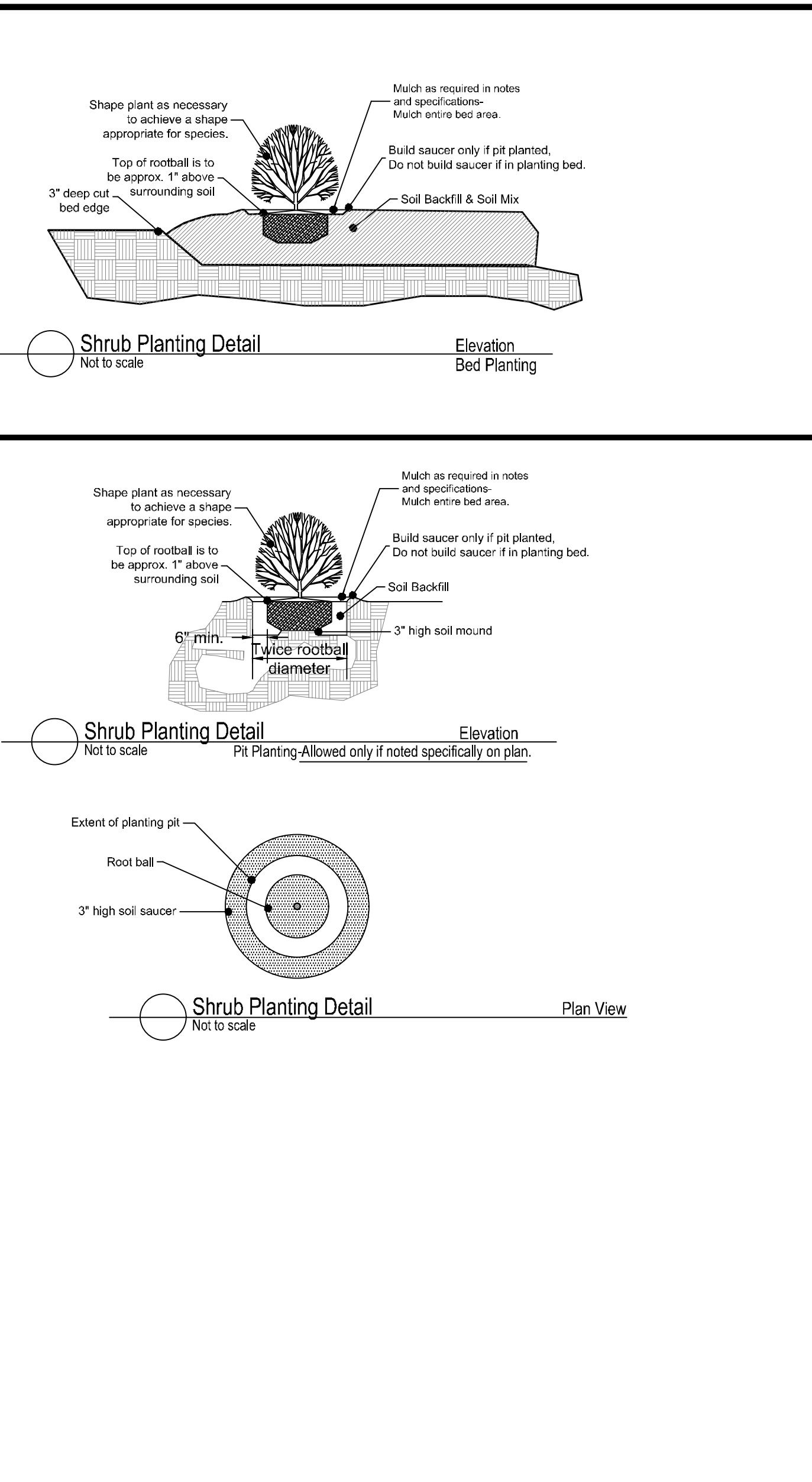
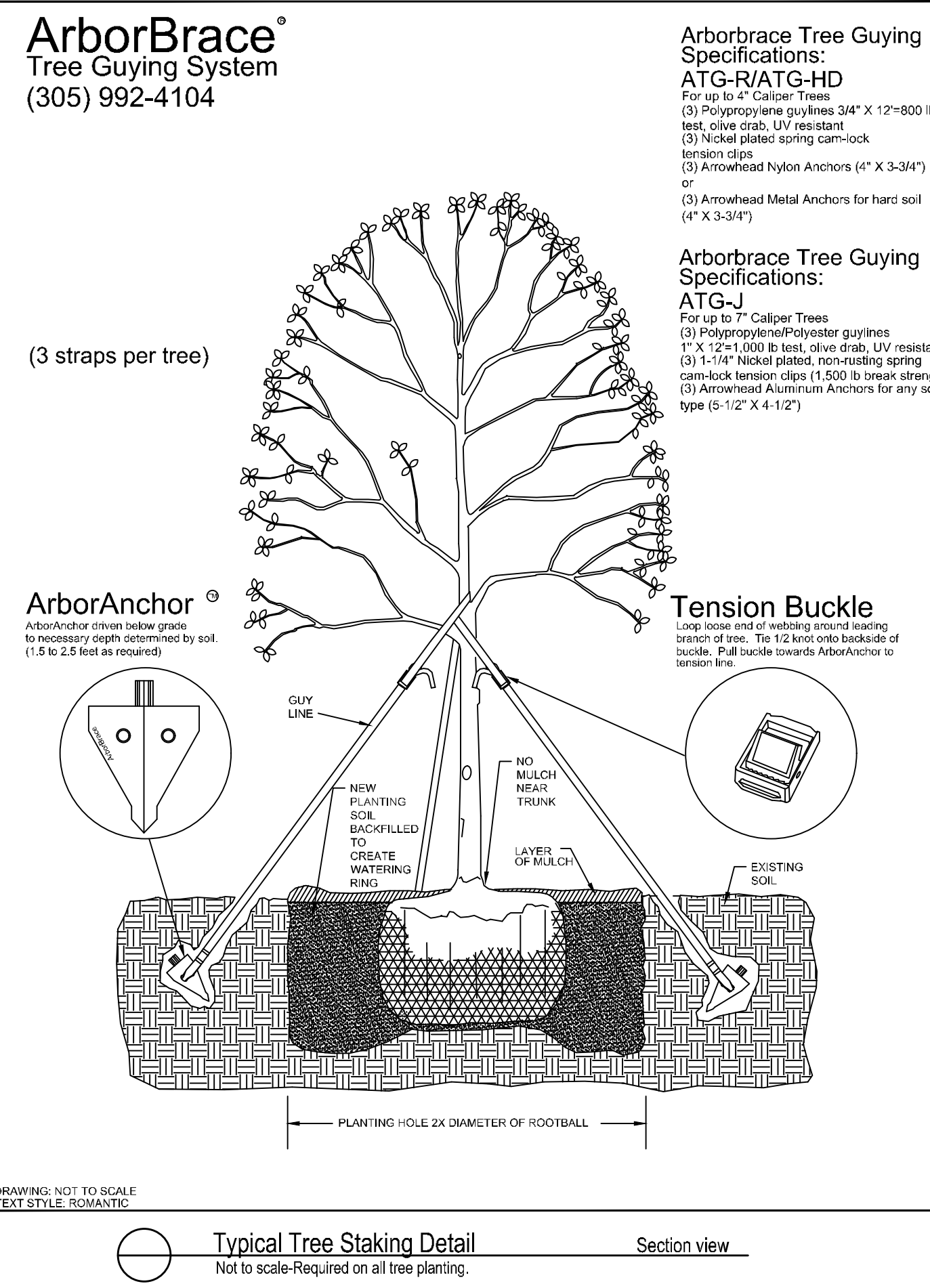
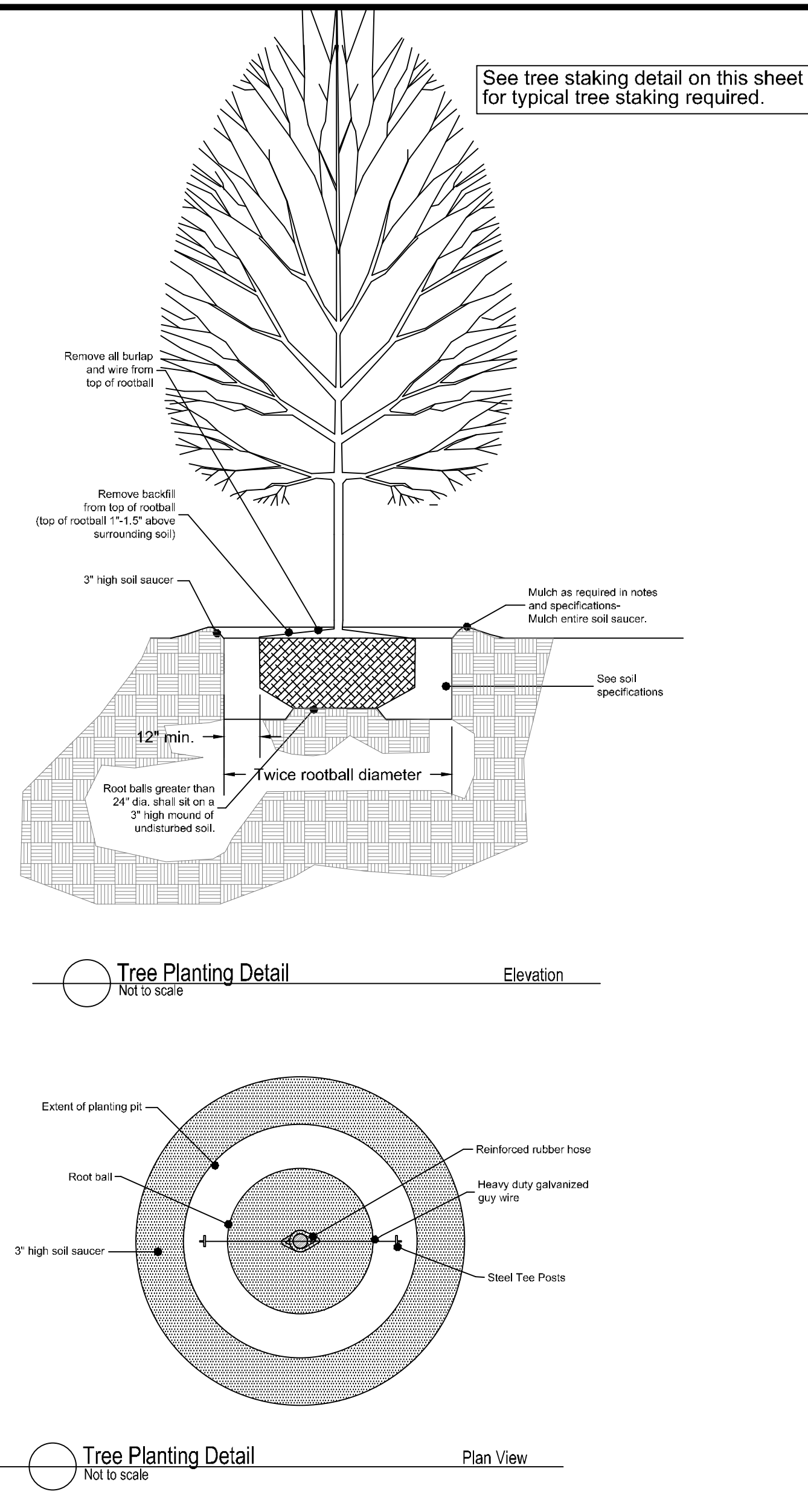
PLANT SCHEDULE	
<b>TREES</b>	
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4 KEYPLAN NOT TO SCALE

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It shall be the contractor's responsibility to determine if planting areas may hold water in the bottom of planting pits. A 6" deep layer of washed gravel shall be included in the contractor's pricing. The project general contractor is to backfill behind curbs with well drained topsoil prior to the landscape contractor incorporating bed preparation. All areas behind curbs shall be mounded to drain water over the top of adjacent curb. (typ)  
 \*\*\*All plant material must meet both minimum height and caliper requirements.

Plant material noted as Cont. shall be container grown and of the size specified. (See below for time of planting material noted as Cont/B&B)  
 B&B material shall be used if planting occurs between October and April.  
 Container material shall be used if planting occurs between May through September.

A 60" MINIMUM DIAMETER X 4" THICK PINESTRAW MULCH RING SHALL BE PROVIDED AND INSTALLED AROUND ALL TREE PLANTINGS THAT FALL OUTSIDE OF BED PLANTING AREAS. ALL BED PLANTING AREAS SHALL RECEIVE A 4" THICK LAYER OF FRESH PINESTRAW MULCH THAT IS FREE OF TRASH, STICKS, OR DEBRIS.  
 SOD AND SEED QUANTITIES ARE ONLY APPROXIMATE. THE CONTRACTOR SHALL VERIFY THE EXACT SOD AREA ON SITE PRIOR TO SUBMITTING PRICING.

The landscape contractor shall be responsible for setting the irrigation controller after installation to deliver the appropriate amount of water for the plant material onsite.

NO PLANTING, PLANTING SOIL, OR MULCH SHALL IMPEDE WATER FLOW AWAY FROM BUILDING AND TOWARD DRAINAGE STRUCTURES.

\*TREE CALIPERS SHALL BE MEASURED PER CITY REQUIREMENTS-6" ABOVE GRADE (UNIFIED DEVELOPMENT CODE 14.13.2.A.3.)

THE LANDSCAPE CONTRACTOR MUST NOTIFY OWNER PRIOR TO BEGINNING BED PREPARATION. SO THE OWNERS REPRESENTATIVE CAN REVIEW AMENDMENTS IN PLACE PRIOR TO MULCH OR PLANT INSTALLATION. NO PLANT MATERIAL INSTALLATION OR MULCH SHALL BE INSTALLED UNTIL THE OWNERS REPRESENTATIVE HAS INSPECTED THE BED PREPARATIONS IN ALL BED PLANTING AREAS.

NOTE: TREE CALIPER AND HEIGHTS ARE MINIMUM SIZES REQUIRED. ALL TREES MUST MEET BOTH MINIMUM CALIPER AND MINIMUM HEIGHT REQUIREMENTS.

**MATERIALS**

- A. Plant Materials**  
 (1) All plant materials delivered to the site must conform to the specifications of Federal, State and County laws, requiring inspection for plant diseases and insect infestations. Plants must comply to American Nursery Stock Standards.  
 (2) Plants delivered to the site shall be adequately protected from the sun and wind during delivery and when stockpiled on the site prior to planting. They shall be watered adequately. Containers shall be free of weeds.  
 (3) The Owner's Representative shall be notified in writing one week prior to planting to inspect all or major portions of the plant materials to be used in the project.  
 (4) The Owner's Representative shall have the right to reject plants prior to and during progress of work for size, conditions of top structure, condition of root structure, defects or injuries, or nonconformity to Specifications.  
**B. Fertilizer**  
 (1) Plants shall be fertilized at planting with timed release fertilizer.

**FINE GRADING AND SOIL PREPARATION**

- (1) Spread and till in topsoil as needed to bring planting beds to required grade.  
 (2) Planting beds are to be mounded 8" min above existing grade after settlement to ensure a good planting medium and enhance drainage. Maintain drainage patterns and drainage swales. Always maintain drainage away from buildings or structures.  
 (3) Soil mix to be a sandy well drained organic mix free from debris, stones, and seeds.  
 (4) Soil shall be free of extraneous matter and weeds and shall consist of (3) parts topsoil, one (1) part organic matter (peat and soil conditioner) and one (1) part sand by volume. See item #2 of this section for depth requirement.  
 (5) All sand for plant beds and plant pits shall be clean, sharp masonry sand free from deleterious matter.  
 (6) Pre-emerge herbicide: For planting soil in planting beds and shrub and tree pits shall be incorporated prior to installation of plant material. Contractor shall use Surflan, unless otherwise approved by Landscape Architect. Treat all bed areas except annual and perennial areas with Surflan pre-emergent herbicide according to the manufacturer's recommendations. Deliver in sealed manufacturer's container and apply according to manufacturer's recommendations. Submit product data to Architect for approval of any changes prior to application.  
 (7) Root Stimulator: Shall be applied to all plant material at time of installation. Submit product data to Architect for approval prior to application.  
 (8) Fertilizer: For flowering species, apply 14-26-6 per label instructions upon initiation of vegetative growth in spring. For non-flowering species, apply 20-6-112 per label instructions at new growth in spring and again in July. Winterize in late-August with 5-10-31 fertilizer at 4 lbs per 1,000 square feet.  
 (9) Seed areas should be tilled and fine graded. A generous application of wheat straw shall be applied after seed broadcast on all seed areas. Seed and straw shall be crimped on slopes greater than 3:1.

**PLANTING AND MULCHING**

- (A) Planting shall take place only after all soil preparation has taken place and has been approved by Landscape Architect.  
 (B) Installation of container stock-  
 (1) Planting holes or pits should be approximately twice the volume of the plant and soil in container or root ball. They should be angular with roughened sides and loose soil on the bottom.  
 (2) Prune any damaged, broken or dead roots so that ends are clean before planting. Prune back top growth as need to balance size of plant related to root mass.  
 (3) Large stock should be set on a layer of several inches of topsoil with loosened soil beneath, stock from "Containers" and flats shall be set in planting bed areas that have soil mix incorporated to a minimum depth of 10". Plants are to be placed so that the root crown will not be below the soil surface or greatly elevated when filling is completed. Top of shrub root ball should be approx. 1"-1.5" above surrounding soil, and top of tree root ball should be approximately 1.5"-2" above surrounding soil.  
 (4) A 3" high soil saucer should be prepared around the planting hole to retain water and is to be removed after 1 year.  
 Tamp soil occasionally while backfilling with soil which is well broken up and well mixed.  
 (5) Tamp lightly around the outside of backfill, holding plant at correct level, then tamp closer to plant. Water thoroughly. Large specimens will require watering midway through the backfill process as well as when backfill is completed.  
 (6) Water the entire planted area before leaving the worksite and at the close of each planting day.  
 (7) Trees and shrubs taller than four feet may require staking. If required, drive stakes securely into ground, outside of root area. Stakes should extend to just below the lower limbs of the tree. Wire run through rubber hose is placed around the tree, then wrapped around the stake and secured firmly. Tree should be able to move a few inches, but wire should be secure and not touch the tree directly. Stakes must be removed after one year.  
 8) Burlap on balled and burlap plant material shall be cut from the top of the root ball or turned down into the planting pit, leaving no burlap visible.  
 Any containing material left in the planting bed shall be biodegradable.

All shrub and groundcover planting shall be in uniformly tilled beds to a depth of 12" below grade with existing soil and sandy soil mix. Beds should be mounded a minimum of 6" above existing grade. **Seed & straw (wheat straw) all disturbed or bare areas not scheduled to receive pavement or other landscaping.**

Mulch as noted in plant list.  
 At no time should the planting beds adjacent to any structure be higher than the finished floor of that structure. Always maintain positive water flow away from structures.  
 Finished planting beds and mulch adjacent to structures shall always be below the finished floor elevation.  
 Apply soil mix to all planting areas at a minimum rate of 1.5 cubic yard per 100 square feet and till with existing soil.  
 The landscape contractor shall provide a full one year warranty on all plant material and labor beginning on date of final acceptance. Once notified during the warranty period of plant material that need to be replaced, the landscape contractor shall replace that material within 14 calendar days of notification.  
 \*All sod shall be soaked and rolled with water filled roller after laying to ensure smooth surface and good ground contact. All seed areas shall have significant germination within 21 days. If 95% germination is not evident, then the area shall be reseeded at no additional cost to the owner until significant germination is achieved.  
 Planting Soil at the perimeter of any building shall be a minimum of 5" below finished floor elevation.

Planting beds & grades adjacent to buildings shall be sloped away from the building to allow rapid removal of surface water and shall not allow water to stand, pond or move slowly, resulting in percolation into the subgrade.  
 Irrigation water should be limited to only that water that is required for plant survival. Any excess water application shall be avoided.  
 All seed/sod areas are to receive a 3" thick layer of well drained organic topsoil prior to applying seed or sod.  
 All plant material and labor shall be covered by a full one year warranty weather the plant material is under irrigation or not.  
 Caliper and height requirements are minimums. All plant material shall be required to meet both height and caliper requirements.

PLANT SCHEDULE									
TREES	COMMON NAME	BOTANICAL NAME	SIZE	MIN. CALIPER	MIN. HT.	QTY	DETAIL	REMARKS	
ACE RE2	Red Maple	Acer rubrum	B&B/Cont	2"Cal	10'-12'	2		Street Tree Specimen, Straight Trunk, Full Canopy.	
ILE SA6	Eagleston Holly	Ilex x 'Eagleston'	B&B/Cont	1.5"Cal	8'-10'	9		Full healthy well formed plant, single trunk street tree specimen, tree form.	
LAG IN4	Natchez White Crape Myrtle	Lagerstroemia indica 'Natchez White'	B&B/Cont		8'-10'	20		Multi trunk, tree form. min 3 trunks, Min canopy spread-5', Min. 3/4" caliper on each trunk.	
LAG WA3	Watermelon Red Crape Myrtle	Lagerstroemia indica 'Watermelon Red'	B&B/Cont		8'-10'	7		Multi trunk, tree form. min 3 trunks, Min canopy spread-5', Min. 3/4" caliper on each trunk.	
PIS CH1	Chinese Pistache	Pistacia chinensis	B&B/Cont	1.5"Cal	8'-10'	1		Street Tree Specimen, Straight Trunk, Full Canopy.	
QUE PH4	Overcup Oak	Quercus lyrata	B&B/Cont	2"Cal	10'-12'	16		Street Tree Specimen, Straight Trunk, Full Canopy.	
QUE PH2	Willow Oak	Quercus phellos	B&B/Cont	2"Cal	10'-12'	27		Street Tree Specimen, Straight Trunk, Full Canopy.	
QUE SH2	Shumard Oak	Quercus shumardii	B&B/Cont	2"Cal	10'-12'	11		Street Tree Specimen, Straight Trunk, Full Canopy.	
TAX BAL	Pond Cypress	Taxodium ascendens	B&B/Cont	2"Cal	10' Ht. Min.	14		Straight trunk. Specimen quality. Full healthy well formed plant.	
ULM DRA	Drake Elm	Ulmus parvifolia 'Drake'	B&B/Cont	2"Cal	10'-12'	54		Street Tree Specimen, Straight Trunk, Full Canopy.	
SHRUBS	COMMON NAME	BOTANICAL NAME	SIZE	CONTAINER		QTY	DETAIL	REMARKS	
ILE CA2	Carissa Holly	Ilex cornuta 'Carissa'	3 gal			147		Full healthy, well formed plant.	
ILE NE3	Needlepoint Holly	Ilex cornuta 'Needlepoint'	3 gal			318		Full healthy well formed plant. Minimum height at time of planting-18".	
ILE NA2	Dwarf Yaupon Holly	Ilex vomitoria 'Nana'	3 gal			166		Full healthy, well formed plant.	
JUN NIC	Nick's Compact Juniper	Juniperus chinensis 'Nick's Compact'	3 gal			392		Full healthy well formed plant.	
LIG JAP	Japanese Ligustrum	Ligustrum japonicum	B&B/Cont			9		Tree form. Multi-trunk, Min. 4" tall. Full healthy well formed plant.	
LIG SU5	Sunshine Ligustrum	Ligustrum sinense 'Sunshine'	3 gal			89		Full healthy well formed plant.	
LOR SU4	Suzanne Loropetalum	Loropetalum chinense rubrum 'Suzanne'	3 gal			59		Full healthy well formed plant.	
MUH CAP	Pink Muhly	Muhlenbergia capillaris	3 gal			70		Full healthy well formed plant.	
GROUND COVERS	COMMON NAME	BOTANICAL NAME	SIZE	CONTAINER	SPACING	QTY	DETAIL	REMARKS	
CYN DA3	Bermuda Grass-Seed	Cynodon dactylon	seed			18,874 sf		Apply at suppliers recommended rate for new construction. Cover with a generous layer of wheat straw.	
TUR SOD	Tifway 419 Bermuda	Cynodon dactylon 'Tifway 419'	sod			49,757 sf		Healthy disease free sod with a min 1" soil base beneath.	
LIR MU4	Big blue Liriope	Liriope muscari 'Big blue'	4"pot		15' o.c.	367		Full healthy well formed plant.	

**NOT FOR CONSTRUCTION**  
 THESE PLANS ARE BEING SUBMITTED FOR PRELIMINARY ARCHITECTURAL REVIEW AND ARE SUBJECT TO CHANGE BASED ON FEEDBACK FROM CITY.

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