



**OFFICIAL AGENDA
PLANNING & ZONING COMMISSION
CITY OF STARKVILLE, MISSISSIPPI
MEETING OF TUESDAY, October 10, 2023
1ST FLOOR CITY HALL – COURTROOM
110 WEST MAIN STREET AT 5:30 PM**

- I. CALL TO ORDER
- II. PLEDGE OF ALLEGIANCE AND MOMENT OF SILENCE
- III. ROLL CALL
- IV. CONSIDERATION OF THE OFFICIAL AGENDA
- V. CONSIDERATION FOR THE APPROVAL OF MINUTES
 - A. CONSIDERATION OF THE UNAPPROVED MINUTES OF JUNE 13, 2023
- VI. CITIZEN COMMENTS
- VII. NEW BUSINESS
 - A. DISCUSSION AND CONSIDERATION OF AA 23-01 A REQUEST FOR AN ADMINISTRATIVE APPEAL OF THE DECISION OF THE CITY'S INDEPENDENT CONSULTANT TO DENY APPROVAL OF THE BUILDING DESIGN PROPOSAL OF CADENCE BANK AT 400 UNIVERSITY DRIVE IN A T-5C ZONING DISTRICT.
 - B. A NOMINATION AND VOTE TO ELECT A CHAIRMAN AND VICE CHAIRMAN OF THE PLANNING AND ZONING COMMISSION.
- VIII. ADJOURN

**APPROVED MINUTES OF THE MEETING OF
THE PLANNING AND ZONING COMMISSION
CITY OF STARKVILLE, MISSISSIPPI JUNE 13, 2023**

Be it remembered that the Planning and Zoning Commission members of the City of Starkville held a meeting on June 13, 2023, at 5:30 p.m. in the Courtroom of City Hall, located at 110 West Main Street, Starkville, MS.

There being physically present at the meeting were Chairman Jeremiah Dumas, Ward 6, Kim Moreland, Ward 1, Vicki West, Ward 2, Kelly Prather, Ward 3, Carl Smith, Ward 4, and Alexis Gregory, Ward 5. Absent from the meet was Tommy Verdell, Ward 7. Physically present attending the Commissioners were City Planner Daniel Havelin, Assistant City Planner Lyle McCaskey, and Assistant City Attorney Jason Sharp.

Chairman Dumas opened the meeting with the Pledge of Allegiance followed by a moment of silence.

IV. CONSIDERATION OF THE OFFICIAL AGENDA

There came for consideration the matter of the approval of the Official Agenda of the Planning and Zoning Commission of June 13, 2023, as presented.

**OFFICIAL AGENDA
PLANNING & ZONING COMMISSION
CITY OF STARKVILLE, MISSISSIPPI
MEETING OF TUESDAY June 13, 2023
1ST FLOOR CITY HALL – COURTROOM
110 WEST MAIN STREET AT 5:30 PM**

- I. CALL TO ORDER
- II. PLEDGE OF ALLEGIANCE AND MOMENT OF SILENCE
- III. ROLL CALL
- IV. CONSIDERATION OF THE OFFICIAL AGENDA
- V. CONSIDERATION FOR THE APPROVAL OF MINUTES
 - A. CONSIDERATION OF THE UNAPPROVED MINUTES OF MAY 9, 2023
- VI. CITIZEN COMMENTS
- VII. NEW BUSINESS
 - A. PUBLIC HEARING AND CONSIDERATION OF SE 23-03 A REQUEST FOR SPECIAL EXCEPTION TO ALLOW FOR THE CONSTRUCTION OF TOWNHOUSES ON GUEST DRIVE A C ZONING DISTRICT.
 - B. PUBLIC HEARING AND CONSIDERATION OF SE 23-04 A REQUEST FOR SPECIAL EXCEPTION TO ALLOW FOR AN ACCESSORY DWELLING UNIT AT 306 SOUTH JACKSON STREET IN A TN-E ZONING DISTRICT.
- VIII. PLANNER'S REPORT
 - A. DISCUSSION OF UPCOMING ELECTION OF CHAIR AND VICE CHAIR
- IX. ADJOURN

After discussion and upon the motion of Commissioner Prather, duly seconded by Commissioner Gregory, the motion to approve the official agenda of the Planning and Zoning Commission for June 13, 2023, received unanimous approval.

V. CONSIDERATION FOR THE APPROVAL OF MINUTES

A. CONSIDERATION OF THE UNAPPROVED MINUTES OF MAY 9, 2023

After discussion and upon the motion of Commissioner Gregory, duly seconded by Commissioner Smith, the motion to approve the minutes of the Planning and Zoning Commission for May 9, 2023, received unanimous approval with changes.

VI. CITIZEN COMMENTS

The Chair opened up the meeting for citizen comments.

Calling for and receiving no comments, the Commission moved to New Business.

VII. NEW BUSINESS

A. PUBLIC HEARING AND CONSIDERATION OF SE 23-03 A REQUEST FOR SPECIAL EXCEPTION TO ALLOW FOR THE CONSTRUCTION OF TOWNHOUSES ON GUEST DRIVE A C ZONING DISTRICT.

City Planner Daniel Havelin presented the request by Willis Owens with Pritchard Engineering on behalf of Charlie Morgan to allow for the construction of townhouses located on Guest Drive in a Commercial (C) zoning district. This is the fourth phase of the Augusta Place development. The previous phases received Special Exception approval. The Use Chart in Section 13.3 of the Unified Development Code requires a Special Exception for "Dwelling, Townhouse/ Rowhouse" in a commercial zoning district. Section 13.3.4 of the Unified Development Code also requires that the Special Exception meet the additional standards for that use. City Planner Daniel Havelin provided the commission with additional information about the location of the property.

The request was noticed in accordance with Section 3.4.3.E of the Unified Development Code. (19) Property owners of record within 160 feet of the subject property were notified directly by mail of the request. A legal ad was published in the Starkville Daily News on May 28, 2023. A sign was posted on the property in a conspicuous location. As of this date, the Planning Office has received no response to the notifications.

Chairman Dumas opened the public hearing.

Calling for and receiving no comments, chairman Dumas closed the public hearing.

After a discussion and upon the motion of Commissioner Prather, duly seconded by Commissioner Moreland, the motion to approve SE 23-03 received unanimous approval.

B. PUBLIC HEARING AND CONSIDERATION OF SE 23-04 A REQUEST FOR SPECIAL EXCEPTION TO ALLOW FOR AN ACCESSORY DWELLING UNIT AT 306 SOUTH JACKSON STREET IN A TN-E ZONING DISTRICT.

City Planner Daniel Havelin presented the request by Briar Jones with Thomas Shelton Jones and Associates PLLC on behalf of Caitlin and Andrew Telle to allow for an accessory dwelling unit to be located at 306 South Jackson Street in a Traditional Neighborhood-Existing (TN-E) zoning district. The applicant is seeking a Special Exception to allow for the modification and renovation of an existing 1,160 square foot outbuilding into a two-bedroom, two-bathroom guest house. The applicant has recently purchased the home and has plans for remodeling the house and guest house. The plans for the guest house include a kitchen area, full bathroom, electricity, and is heated or cooled. Therefore, the use is classified as an accessory dwelling unit. The Use Chart in Section 13.3 of the Unified Development Code requires a Special Exception for "Dwelling, Accessory Unit" in a Traditional Neighborhood-Existing zoning district. Section 13.3.4 of the Unified Development Code also requires that the Special Exception meet the additional standards for that use. The existing structure is approximately 1,160 square feet. This proposal does not increase the size of the structure. Therefore, the additional standard requirement of less than 600 square feet needs to be removed as part of this request in accordance with Section 3.4.

The request was noticed in accordance with Section 3.4.3.E of the Unified Development Code. (22) property owners of record within 160 feet of the subject property were notified directly by mail of the request. A legal ad was published in the Starkville Daily News on May 28, 2023. A sign was posted on the property in a conspicuous location. As of this date, the Planning Office has received no response to the notifications.

Chairman Dumas opened the public hearing.

Calling for and receiving no comments, chairman Dumas closed the public hearing.

After a discussion and upon the motion of Commissioner Prather, duly seconded by Commissioner Smith, the motion to approve SE 23-04 received unanimous approval.

VIII. PLANNER'S REPORT

A. DISCUSSION OF UPCOMING ELECTION OF CHAIR AND VICE CHAIR

City Planner Daniel Havelin presented the commission with information regarding the upcoming chair and vice chair election.

VIII. ADJOURN

There came for consideration the matter of the approval of the motion to adjourn until 5:30 p.m. on June 13, 2023, in the Courtroom of City Hall located at 110 West Main Street, Starkville MS.

After discussion and upon the motion to adjourn until 5:30 p.m. on June 13, 2023, in the Courtroom located at 110 West Main Street, Starkville MS by Commissioner Smith, duly seconded by Commissioner Gregory, the motion was unanimously approved.

Jeremiah Dumas, Commission Chair

Daniel Havelin, City Planner



THE CITY OF STARKVILLE
PLANNING DEPARTMENT
PLANNING AND ZONING COMMISSION
CITY HALL, 110 WEST MAIN STREET
STARKVILLE, MISSISSIPPI 39759

STAFF REPORT

To: Members of the Planning & Zoning Commission
From: Daniel Havelin, City Planner (662-323-2525 ext. 3136)
Lyle McCaskey, Assistant City Planner (662-323-2525 ext. 3130)
Subject: Discussion and consideration of AA 23-01 a request for an Administrative Appeal of the decision of the City's independent consultant to deny approval of the building design proposal of Cadence Bank at 400 University Drive in a T-5C zoning district
Date: October 10, 2023

The purpose of this report is to provide information regarding a request by Stephens Daniel of Daniel Design Studio, P.C. on behalf of Cadence Bank for an Administrative Appeal of the decision by the City's independent consultant to deny approval of the building design proposal as part of Architecture Review. The project is located at 400 University Drive in a T-5C zoning District. Please see attachments 1- 9.

BACKGROUND INFORMATION

The Development Review Committee had a meeting with the Applicant on February 16, 2023, to discuss the development process for a new Cadence Bank building at 400 University Drive. During the meeting, the city staff gave feedback on the building and site plan. The applicant was informed that the development process would entail a variance for lot width and building frontage, lot aggregation as a minor subdivision, site plan review and approval, and architecture review and approval. Currently, the only outstanding item is the architecture review and approval.

The first version of the building design proposal was submitted on May 5, 2023 (Attachment 3). After review by the independent consultant, the building design proposal was "disapproved" (Attachment 4). The two building-related reasons for the disapproval are as follows:

- 2. The entrance is a little difficult to detect from University Drive.**
- 3. Porcelain Wall Panels and ACM (Metal Panels) are not listed as approved materials. I find it difficult to interpret and had difficulty figuring out exactly what these panels are. An exact website address and a physical sample of material could be put under further review if the city would allow it.**

The second version of the building design proposal was submitted approximately on July 20, 2023 (Attachment 5). After review by the independent consultant, the building design proposal was again "disapproved" (Attachment 6). The building-related reason and a statement about the disapproval are as follows:

- 2. I am now questioning the idea of the contentious panel. Panels are not specifically called out in the list of materials.**

What will be the actual panel sizes and joint pattern? This is a major corridor thoroughfare and contextually these panels do not fit the area. Brick would be a much more suitable material particularly given the magnitude of a bank. I am also questioning the choice of the white color. I feel like its reflectance will be overpowering at this intersection. This area is meant to be the connection between downtown and the Cotton District that leads to the university. It should be a building that holds its own but creates a connection to all of these things that happen in Starkville. This will be one of the most dominant corners in all of the city.

The third version of the building design proposal was submitted on August 25, 2023 (Attachment 7). For this review, all three independent consultants were asked to review the proposal. After reviewing, the building design proposal was not recommended for approval (Attachment 8). The consultant listed three collective comments and one statement about the proposal.

- 1. From the previous design we went from having no joint or pattern lines to a design that is very busy. The pattern and rhythms of the joints do not line up. For instance, the window patterns do not match the panel patterns so there would be extra cut lines in the panel patterns. The joint patterns do not look consistent either. I realize there are multiple colors and sizes of these panels, but it not a very streamline approach.***
- 2. The rendering of the model does not accurately reflect the texture and pattern of the materials. This is also making it difficult to decipher the exterior.***
- 3. The main entry does not face the street and is not clear.***

Overall, the proposed design does not align with what the committee and the city's objectives and vision for the building and site are. The committee would really like to see the building in masonry. Perhaps have a large-scale block base and brick above. Again, this is a major corridor thoroughfare and contextually in needs to be appropriate. When I previously questioned the white color, I did not mean that it had to completely go away or flip to the opposite color as the rendition has done. Also, having been a Cadence Bank member for my entire life, I feel like the predominance of a bank should be felt and easily identified. The general aesthetic of the building, as it stands now, I feel is working towards a modern flare. I normally would be an advocate of such, but the context of this building is not appropriate. We please ask that you reevaluate the design and take into consideration the feedback from this and the previously supplied comments. If Mr. Daniels would like to send us some of these materials for in-person review and make a case for the design, I certainly would be open to that communication.

After the third denial, the applicant chose to appeal the decision of the building design proposal instead of modifying the building with the recommendations of the independent consultant (Attachment 9).

3.8 ADMINISTRATIVE APPEAL

An administrative appeal is any appeal from administrative interpretations on all matters pertaining to the adopted codes of the City that does not require a variance, waiver, use exception, or special exception. Administrative Appeals of the interpretation of the adopted Technical Codes or any issue related to stormwater requirements shall be reviewed by the Board of Adjustments and Appeals. Administrative Appeals of the interpretation and enforcement of the Rental Housing Code shall be reviewed by the Board

of Aldermen. Administrative appeals of denial or revocation of transient vendor license shall be reviewed by the Board of Aldermen. All other Administrative Appeals shall be reviewed by the Planning and Zoning Commission.

3.8.1 Criteria for Administrative Appeal

1. Interpretation.

The appeal of the interpretation of the requirements by City Staff or the City's Consultant(s) shall be based on an alleged error in interpreting and/or the application of the requirements of the Unified Development Code.

2. Appropriateness of the request.

The request for an Administrative Appeal shall be for interpretation only and does not trigger the requirements of a variance, waiver, use exception, or special exception.

3. Review.

The Planning and Zoning Commission, Board of Adjustment and Appeals, and the Board of Aldermen shall have the power to review the decision of City Staff, de novo, but shall not consider new evidence that was not available to City Staff at the time of making an interpretation.

3.8.2 Application

An application for an appeal shall be submitted along with any supporting information to the Planning Department within ten (10) days of the written denial of an application by the Building Department, City Planner, Development Review Committee, and/or City Engineer.

3.8.3 Administrative Examination

Upon receipt of an application for an administrative appeal, the City Planner shall examine, or cause to be examined, the application and shall make such investigation into the proposed administrative appeal as is necessary. If the application is determined to be complete, the City Planner shall place the item on the agenda for either the Planning and Zoning Commission or the Board of Adjustment and Appeals. The appeal shall be placed on the next regularly scheduled meeting of either the Planning and Zoning Commission or the Board of Adjustments and Appeals in accordance with the submittal schedule for non-advertised agenda items.

3.8.4 Appearance and Presentation

At the meeting, the applicant seeking the administrative appeal and any other party desiring to be heard upon the application may appear in person, by agent or by attorney. The applicant shall be entitled to make a presentation and at the conclusion of presentations or statements by all other parties, shall be entitled to offer a statement in rebuttal if desired. The chairman of either the Planning and Zoning Commission or the Board of Adjustment and Appeals shall, at the commencement of the meeting upon each application or at any time during such meeting, require that parties desiring to make a presentation identify themselves and may specify the time to be allowed each such party within which to make such a presentation.

3.8.5 Action

The decision recommended by either the Planning and Zoning Commission or the Board of Adjustments and Appeals and any specific conditions for approval shall be forwarded to the Mayor and Board of Aldermen for their binding decision. A super majority vote by either the Planning and Zoning Commission or the Board of Adjustments and Appeals shall be

necessary to modify or reverse any order, requirement, decision, or determination of the Building Official, City Planner, Development Review Committee, and/or City Engineer. The Mayor and Board of Aldermen shall proceed to review the recommendation by either the Planning and Zoning Commission or the Board of Adjustment and Appeals. At the meeting, the decision of either the Planning and Zoning Commission or the Board of Adjustment and Appeals shall either be affirmed, modified, or reversed by the Board of Aldermen by majority vote.

3.8.6 Appeal

Parties aggrieved by the final decision of the Mayor and Board of Aldermen, may appeal to a court of competent jurisdiction pursuant to state statute.

3.8.7 Conditions Of Approval

The Mayor and Board of Aldermen may attach conditions in accordance with the approval. Conditions attached to the approval of an administrative appeal shall run with the land and shall be binding upon the applicants, their heirs, and/or successors.

3.10 ARCHITECTURE REVIEW

3.10.1 Intent of Architecture Review

The intent of architecture review is to ensure that development within the City of Starkville is consistent with all applicable development standards. The approval of such development will be based upon the provisions of this code, the contextual surroundings of the development, potential visual impacts, compatibility with existing developments, and compatibility with anticipated developments within the immediate area and the City as a whole.

3.10.2 Applicability and Filing Process

1. All land areas in the city which are zoned for commercial use, industrial use, mixed-use, or multi-unit residential greater than two (2) dwelling units per site shall be subject to Architecture Review.
2. All proposed buildings or proposed remodeled buildings that require site plan review shall require Architecture Review approval prior to receiving a building permit.
3. The architecture review process can begin before, during, or after the site plan review and approval process.

3.10.3 Review and Action By The Independent Consultant

After reviewing the building design plan and finding that the proposed plan meets the minimum requirements, the Architecture Review Committee will approve the building design plan. If the building design plan includes any requests for waiver, variance, or exception, the Architecture Review Committee will approve the building design plan only after approval from the Board of Aldermen. Approval of a building design plan is required prior to building permit approval.

3.10.4 Building Design Plan Application Requirements

1. Pre-Application.

A pre-application meeting may be scheduled at the request of the applicant to discuss requirements and review conceptual drawings. A pre-application meeting is not required, but recommended.

2. **Application.**

An application for Architecture Review shall be submitted along with the building plans to the Planning Department. Such applications shall be submitted to the City Planner together with the fee established by resolution of the Mayor and Board of Aldermen. The application shall include the following:

A. **Applicant and/or owner information.**

The application shall list the property owner or authorized agents contact information including mailing address, email address, and phone number.

B. **Project information.**

The following shall be listed on the application: project name, project address, parcel id number, and zoning district.

C. **Project description.**

All projects shall include a description of the project indicating the proposed uses (commercial, residential, mixed-use, etc.). If the development is being proposed to be built in phases, the applicant shall submit an application for the entire development showing all phases. Target dates for completion of each phase and the entire development shall be included.

3. **Building design plan requirements.**

The following sheet with required information shall be submitted as part of a complete application for review by the Architecture Review Committee. The maximum sheet size shall not exceed thirty (30) inches by forty-two (42) inches. A sheet size of twenty-four (24) inches by thirty-six (36) inches is preferred. Plans shall also be provided digitally as a Portable Document Format (PDF). Multiple sheets may be used provided each sheet is numbered and the total number of sheets is indicated on each sheet. Cross referencing between sheets shall be required. All of the following information shall be required prior to being placed on the Architecture Review Committee's agenda:

A. **Coversheet.**

The coversheet shall include:

1. Project name
2. Vicinity map
3. Sheet Index
4. Contact information for the Owner and Design Professionals
5. Building data including the following: total proposed square footage for each use (commercial, residential, office, etc.), the total number of residential dwelling units, and the total number of bedrooms vi. Submittal date and any revision dates

B. **Site plan.**

Site plans shall be drawn at a scale of one (1) inch to fifty (50) feet or larger. Necessary notes and symbol legends shall be included. Abbreviations should be avoided but if used they shall be defined in the notes. Drawings shall illustrate the following:

1. Boundary, setback lines, and easements
2. North arrow, legend, and graphic scale
3. The location of parking areas, loading zones, dumpster enclosure, sidewalks, and walkways
4. The locations of all buildings on the site

C. **Building plans.**

Building drawings shall be drawn at a common scale so as to be legible. Necessary notes and symbol legends shall be included. Abbreviations should be avoided, but if used, shall be defined in the notes. Drawings shall illustrate the following:

1. Schematic floor plan for each floor for the purpose of locating exterior windows and doors
2. Door and window schedule for all exterior doors and windows

3. Color rendered elevations of all sides of the building with facade requirements (see Development Standards Chart Section 14).
4. An elevation of the street face side of the building with dimensions showing the overall height of the building and each individual floor
5. All proposed building finishes shall be labeled. A finish schedule shall be included on the sheet for which they are referenced. The finish schedule shall include material type, color, and product reference information
6. For projects located within a T-4, T-5D, T-5C, and T-5U zoning districts, a percentage of fenestration per floor shall be required (see Development Standards Chart Section 14).

D. Building Materials Board.

A material sample of all key materials and colors, properly labeled, and affixed to hard surface, may be required upon request from reviewer for review. Material samples shall be a minimum size of three inch by three inch (3"x3"). Major colors must be actual samples. Minor colors may be printed samples. Paint and stain samples from wood color fans are acceptable.

4. Approval, disapproval, and appeal procedures

A. Comment procedure.

Comments from Architecture Review shall be issued in writing after each review. The applicant shall revise the proposed building plan per the comments or reply in writing as to why the revisions cannot be made. Only after revisions to the proposed building plan meets the requirements of the Architecture Review will the approval procedure begin.

B. Approval procedure.

Upon approval of such building design proposal by Architecture Review and an approved site plan by the Development Review Committee, a building permit application may be submitted to the building department for subsequent review. The approved building design proposal shall be signed by the consultant of the Architecture Review.

C. Disapproval procedure.

If Architecture Review denies a building design proposal plan, it shall specify the reasons said plan was denied.

D. Appeal procedure.

A decision to deny a building design proposal by the independent consultant for any reason that does not require a variance, waiver, or exception, can be appealed as an Administrative Appeal to the Board of Aldermen. The applicant shall have ten (10) business days from the decision to deny to appeal that decision. The appeal shall be placed on the next regularly scheduled meeting of the Planning and Zoning Commission in accordance with the submittal schedule for non-advertised agenda items. Parties aggrieved by the final decision of the Mayor and Board of Aldermen, may appeal to a court of competent jurisdiction pursuant to state statute.

E. Expiration.

The building design proposal approval shall expire twelve (12) months after approval by Architecture Review if construction has not been started evidenced by steady and continuous progress as determined by the Building Official or the City Planner.

F. Extension.

The approval of a building design proposal may be extended for six (6) months by the City Planner. If an extension is not granted, reapplication is required.

G. Transfer of approval.

In the event property with an approved building design is sold, transferred, leased, or

any other change in ownership, the approval shall be transferable and subject to the same terms of approval as the original approval.

ZONING DISTRICT INFORMATION

SECTION 5: FORM-BASED DISTRICTS

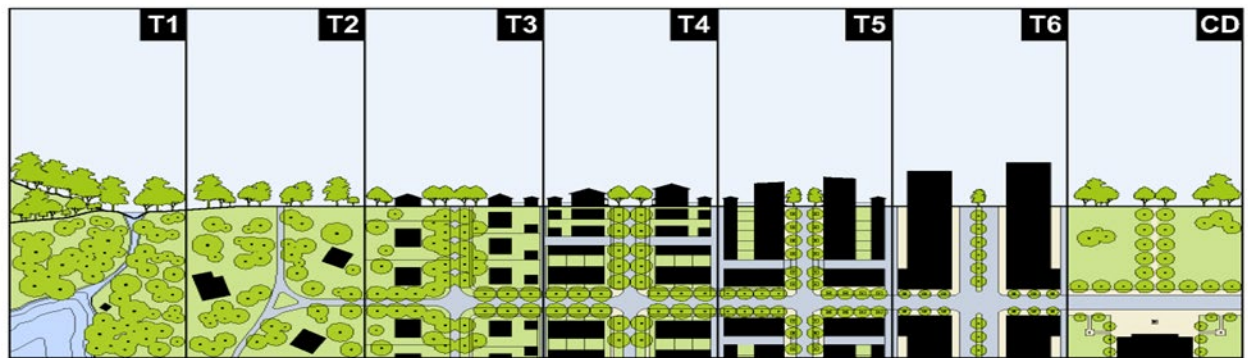
5.1.1 Intent of Form-Based Districts

The intent of the form-based districts is to implement the urban core, urban center, and urban corridor placetypes of the Comprehensive Plan. The intent of the requirements for the form-based districts are as follows:

1. Regulations on buildings equitably balance the rights of individual property owners and the interests of the community as a whole.
2. Infrastructure, landscape, and buildings shape the public realm, the spatial definition of which can be understood as a continuum from weak to strong.
3. Form-based Districts organize the individual characteristics of infrastructure, landscape, and buildings into distinct physical environments, with the overall character of each differing from one another.
4. Distinct physical environments provide a choice in living arrangement for citizens with differing physical, social, and emotional needs.
5. Mixed-Uses within Form-based Districts and individual buildings provides access to daily needs within close proximity to dwellings so that residents may choose to work, recreate, and shop within walking distance of their home.

5.1.2 Organizing Principle for Form-Based Code

This form-based code regulates uses that are carefully chosen to maximize compatibility between uses and the intended physical form of the zone. The organizing principle for the form-based code is based on a hierarchy of places from the most rural to the most urban. The designation of each zone along this hierarchy or "Transect" is determined first by the character and form, intensity of development, and type of place, and secondarily by the mix of uses within the area. Form-based districts are used to reinforce existing or to create new walkable mixed-use urban environments.



5.1.3 The Model Transect for American Towns

The model transect for American towns is divided into six (6) transect zones or form-based zones: Natural (T1), Rural (T2), Sub-Urban (T3), General Urban (T4), Urban Center (T5), and Urban Core (T6). Each T-zone is given a number: higher numbers designate progressively more urban zones, and lower numbers designate more rural zones. Currently, the Starkville Transects include T4-T5 zones.

1. **T-4 Form-based District** consists of moderately settled lands, is primarily residential in character, but permits an appropriate level of mixed-use. Moderate setbacks and lot coverage by buildings creates an increased sense of spatial definition
2. **T-5U- University Form-based District** consists of heavily settled lands and is primarily mixed-use in character. Shallow setbacks, moderate to high lot coverage, and multi-level buildings that are proportionally scaled creating strong spatial definition of outdoor spaces.
3. **T-5C- Corridor Form-based District** consists of heavily settled lands and is primarily commercial or mixed-use in character. Shallow setbacks, moderate to high lot coverage, and multi-level buildings that are proportionally scaled creating strong spatial definition of outdoor spaces.
4. **T-5D- Downtown Form-based District** consists of heavily settled lands and is primarily commercial or mixed-use in character. Shallow or no front setbacks, high lot coverage, and multi-level buildings that are proportionally scaled creating strong spatial definition of outdoor spaces.

5.2 Base Dimensional Standards

Form-Based Districts	
Height	T-5C
Principal building in stories	4, 5 (■)
Secondary building in stories	4, 5 (■)
Accessory dwelling unit in stories	--
Accessory structures in stories	1
Stories	T-5C
Story height (min/max)	10/14'
Commercial 1st floor (min/max)	11/25'
Half story height (min/max)	--
Lot Width	T-5C
Min	25'
Max	120'
Lot Coverage	T-5C
Maximum lot coverage	90%
Lot Frontage Buildout	T-5C
Percentage lot frontage buildout at front setback (min/max)	65/85%
Percentage of frontage buildout at side setback corner lot (min/max)	65/85%

Building Width- Special Exception required to vary from Maximum	T-5C
Street facing building width (max)	90'
Transparency	T-5C
1st floor residential (min)	30%
1st floor commercial (min)	55%
Transparency	T-5C
Upper floors (max)	50%
Orientation	T-5C
Building(s)	Face primary frontage. Corner lots must face both frontages.
Secondary building(s)	Face primary frontage or interior courtyard. Corner lots must face frontage
Accessory dwelling unit	--
Secondary Building(s) Requirements	T-5C
minimum lot depth for secondary buildings	100'
The lot shall be of sufficient size to accommodate any proposed secondary structure without requiring a variance from development standards	yes
Principal Building Setbacks	T-5C
principal front setback (min/max)	2/15'*
side setback adjacent to street (min/max)	2/15'*
side setback	0/24'
rear setback (min)	3'
Secondary Building Setbacks	T-5C
front setback interior lot	5' behind rear wall of primary building
side setback adjacent to street (min/max)	2/15'*
side setback (min)	0'
rear setback (min)	3'
Accessory Dwelling Unit and Accessory Structure Setbacks	T-5C
front setback interior lot	--
side setback adjacent to street (min/max)	--
side setback (min)	--
rear setback (min)	--
Ground Floor Elevation	T-5C
1st story residential (min/max)	16"/5'
1st story commercial (min/max)	0/2'

Parking Setbacks and Requirements	T-5C
from primary street (min)	20' behind front wall of principal building(s)
side adjacent to side street (min)	10' unless a principal building and/or secondary building is adjacent to the street, then behind the front wall of any street fronting buildings.
masked from view from public by solid wall	yes
driveway width within setback (max)	24'
Pedestrian Access	T-5C
Street-facing primary entrance along street	yes
■ =by Special Exception, -- = prohibited	
*=Minimum setback determined by Additional Setback Requirements for Public Frontage	
**=Story height may be reduced when upper floor is an open loft	

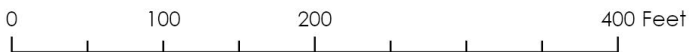
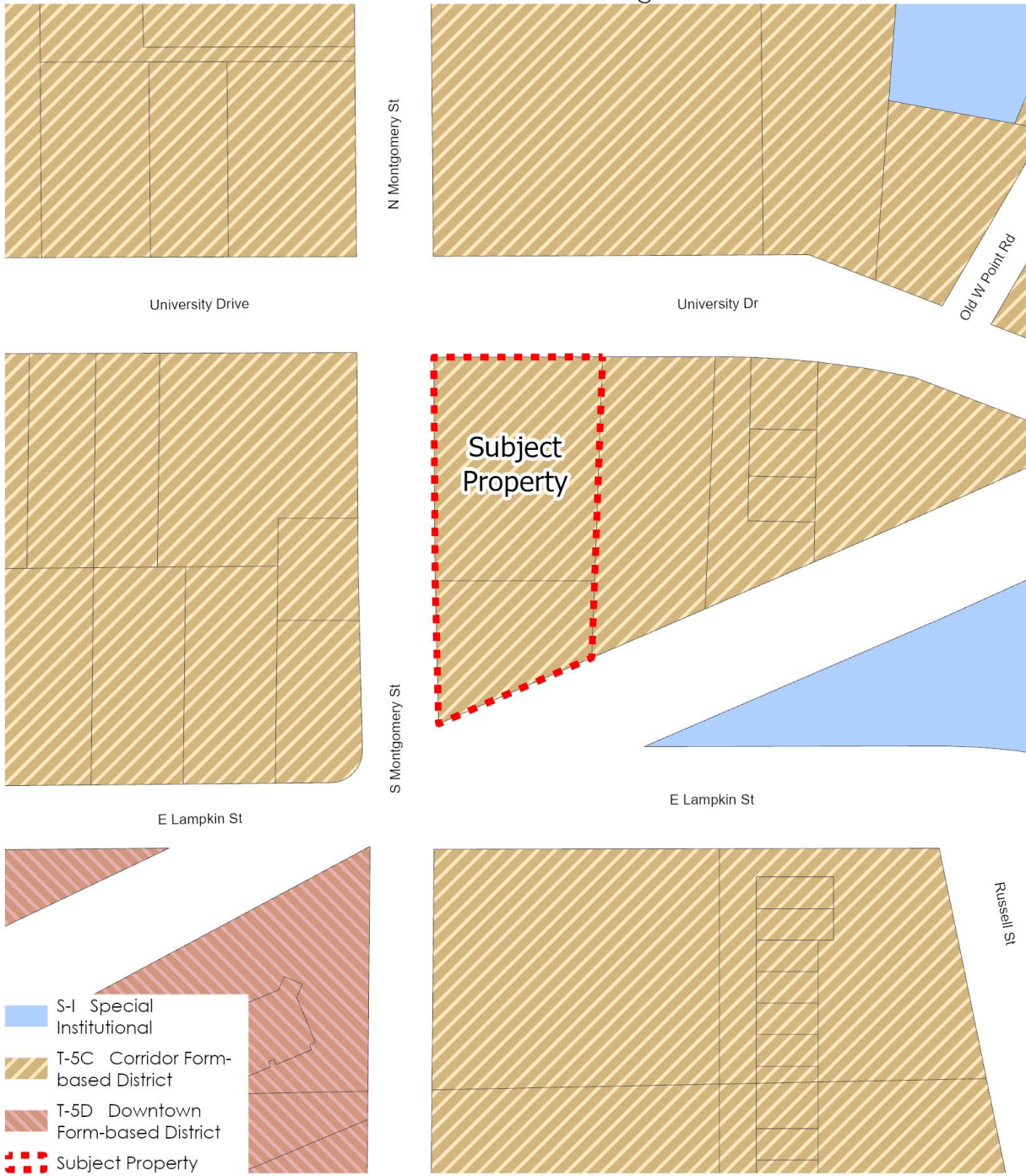
ANALYSIS

The Planning Department has reviewed the submitted building design proposal and agrees with the recommendation to deny it. The combination of materials proposed is not appropriate for the prominent corner where the building is planned to be constructed. This corner is one of the most important intersections of the city, located at the junction of the only road that runs from north to south and the main thoroughfare between Downtown and the University. Therefore, the Planning Department endorses the reviewer's suggestion for a redesign, using materials such as a large-scale block base with brick above that would blend in better with the context of this location.

CONDITIONS OF APPROVAL

The Mayor and Board of Aldermen may attach conditions in accordance with the approval. Conditions attached to the approval of an administrative appeal shall run with the land and shall be binding upon the applicants, their heirs, and/or successors.

Attachment 1 AA 23-01 Zoning

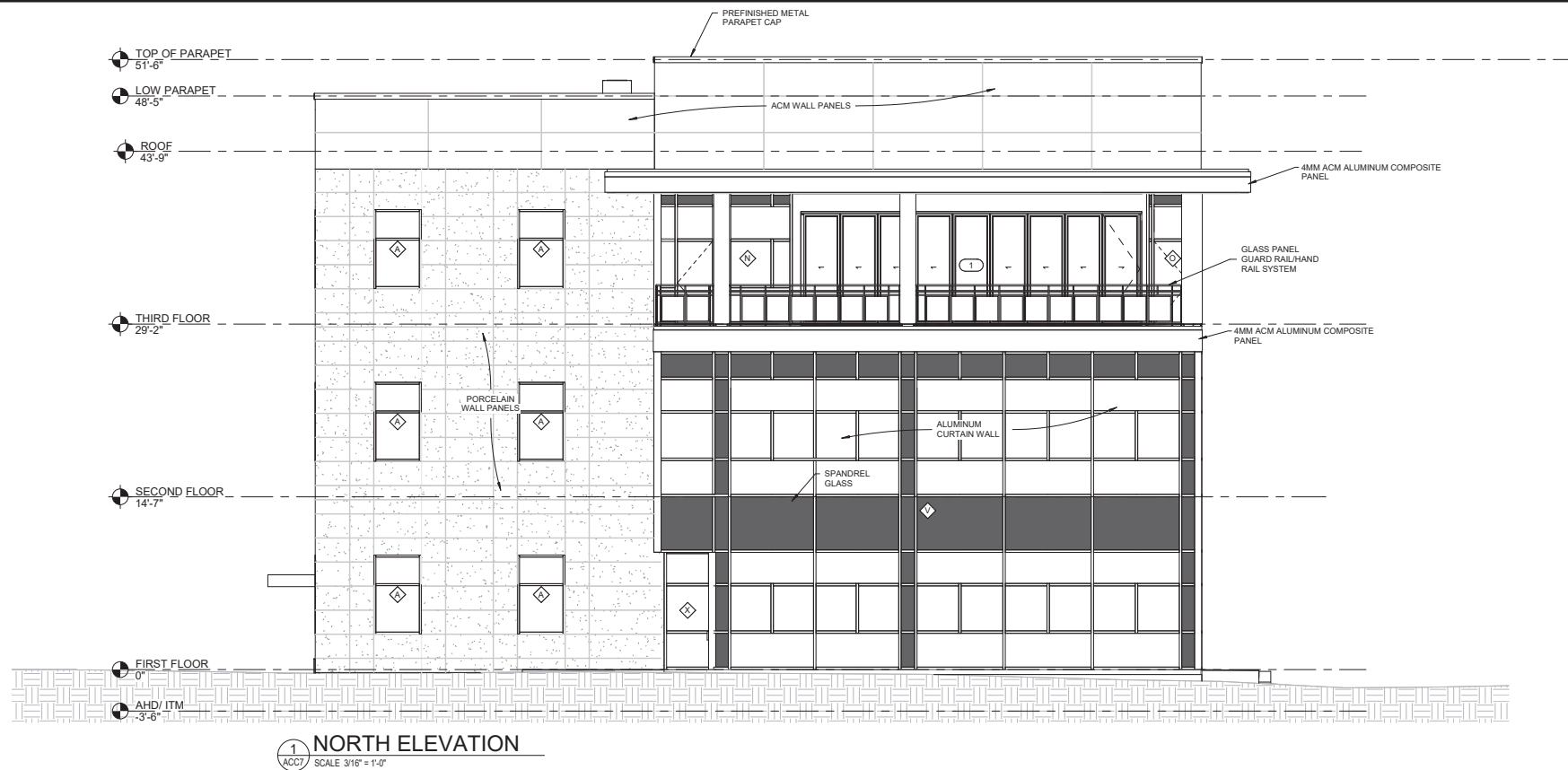


Attachment 2
AA 23-01 Aerial

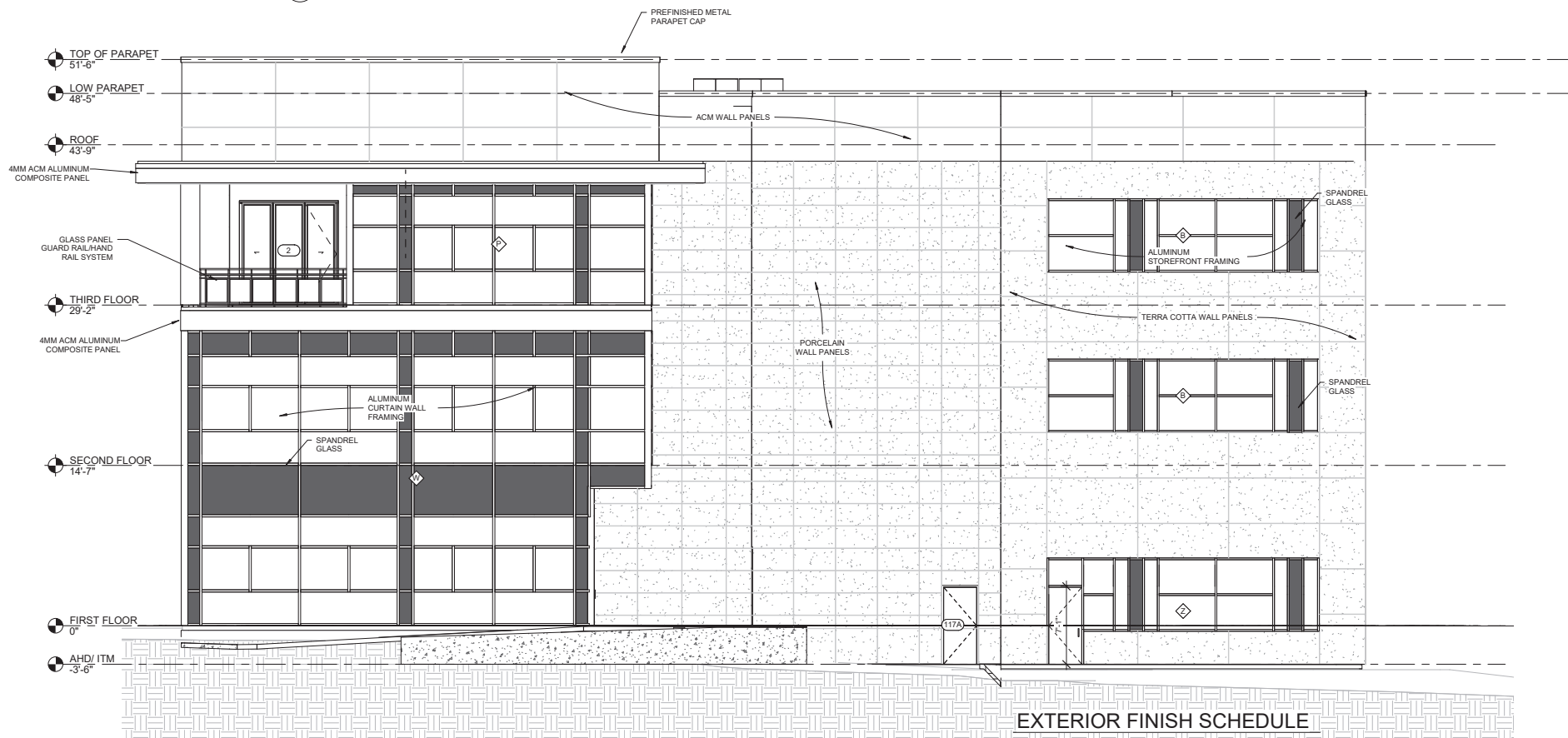


0 100 200 400 Feet





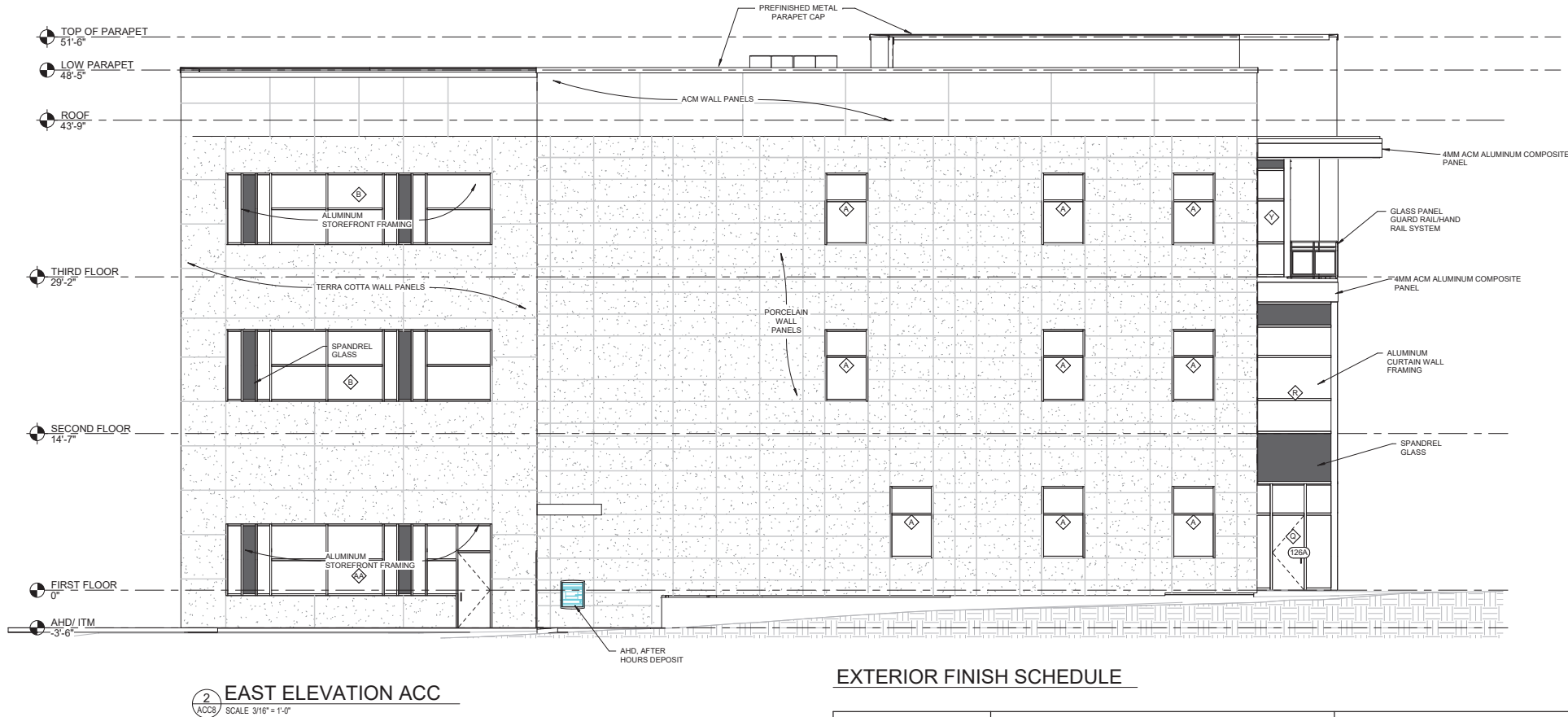
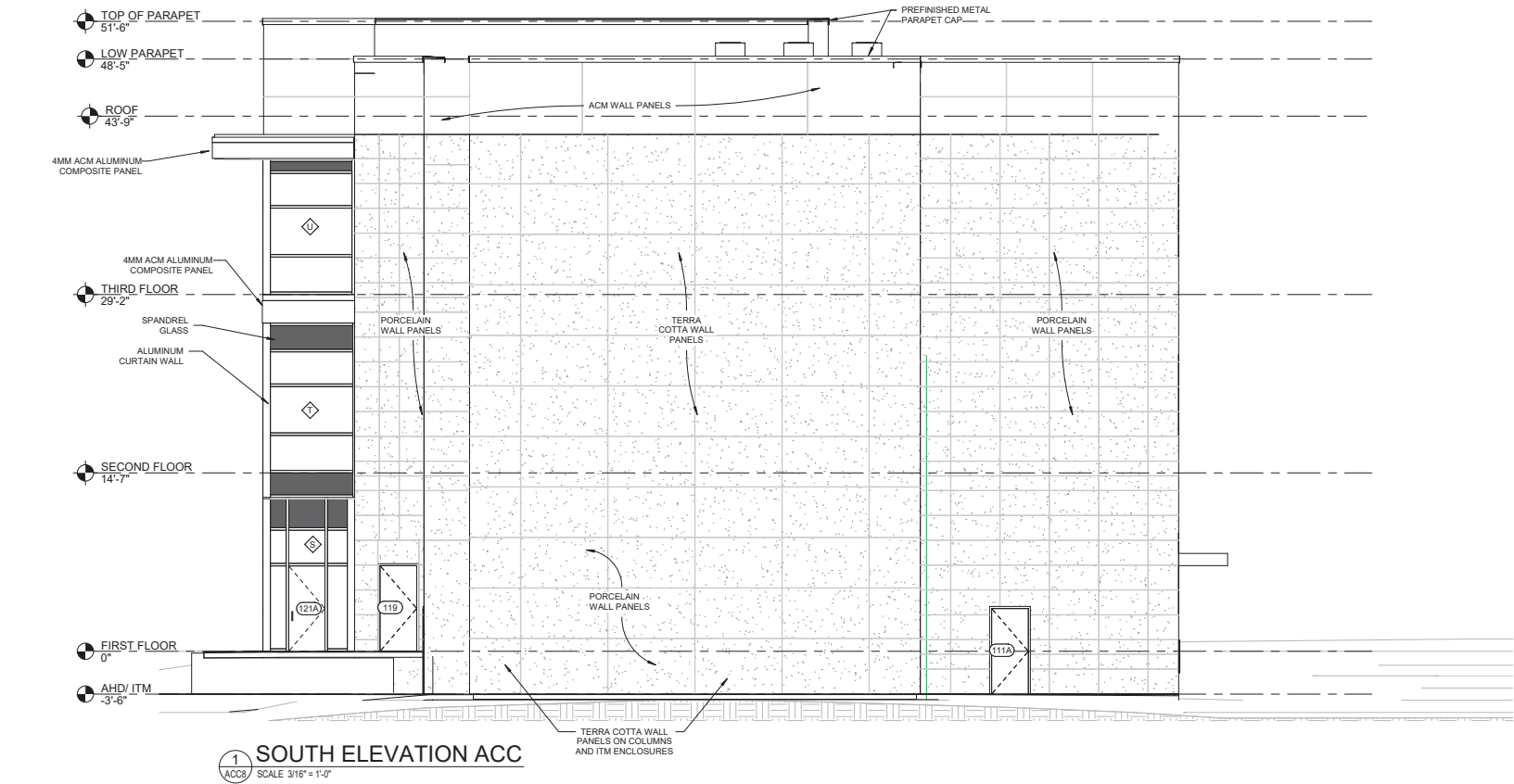
1 NORTH ELEVATION
SCALE 3/16" = 1'-0"



2 WEST ELEVATION
SCALE 3/16" = 1'-0"

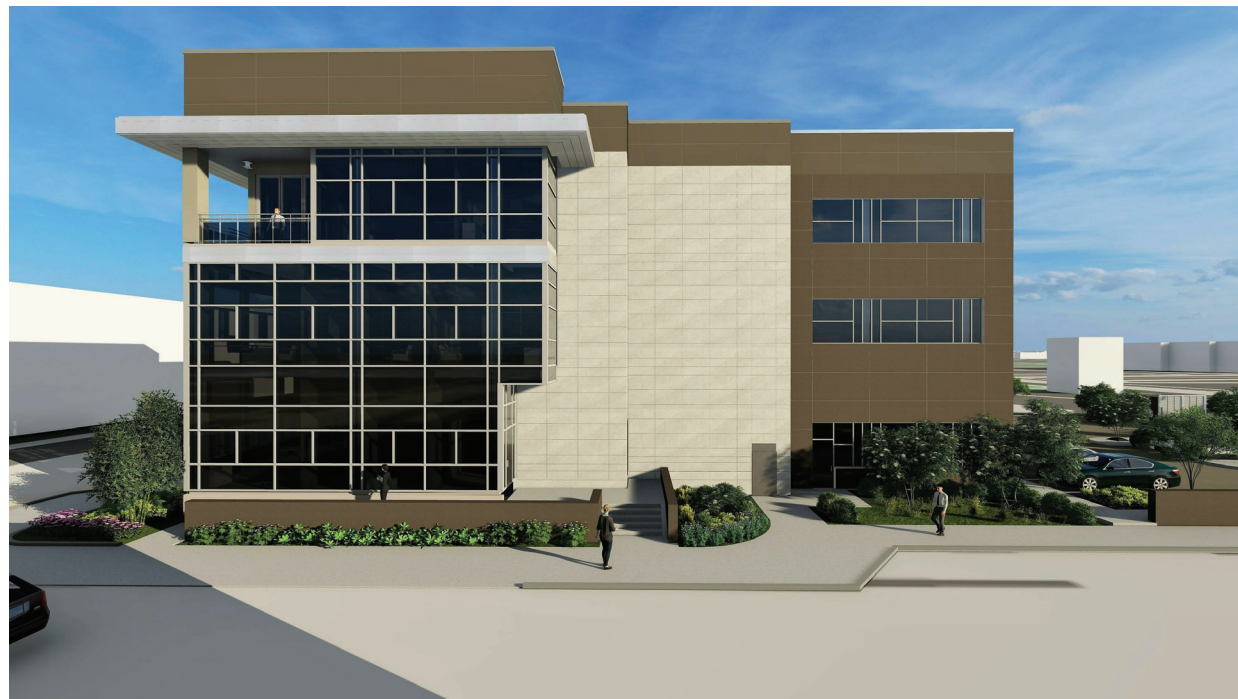
EXTERIOR FINISH SCHEDULE

MATERIAL	PRODUCT	COLOR
DOORS	HOLLOW METAL DOORS NANAWALL - NW ALUMINUM 840 FRAMED GLASS WALL SYSTEM ALUMINUM FRAMED STREFRONT - KAWNEER 350 IR	PAINT - COLOR TO MATCH SURROUNDING WALL CLEAR ANODIZED CLEAR ANODIZED
WINDOWS	KAWNEER 1600 WALL SYSTEM 3 KAWNEER TRI-FAB VG 451T	CLEAR ANODIZED CLEAR ANODIZED
METAL PARAPET COPING	GAF M-WELD FORMED COPING	DARK BRONZE
WALL PANELS	PORCELAIN - CERAMICS TERRA COTTA - TERRA5 ALUMINUM COMPOSITE MATERIAL	STONE BRAIES SK01 CHOCOLATE TC18 ACM - STATUARY BRONZE AB017 ACM - SILVER METALLIC AB023



EXTERIOR FINISH SCHEDULE

MATERIAL	PRODUCT	COLOR
DOORS	HOLLOW METAL DOORS NANAWALL - NW ALUMINUM 840 FRAMED GLASS WALL SYSTEM ALUMINUM FRAMED STREFRONT - KAWNEER 350 IR	PAINT - COLOR TO MATCH SURROUNDING WALL CLEAR ANODIZED CLEAR ANODIZED
WINDOWS	KAWNEER 1600 WALL SYSTEM 3 KAWNEER TRI-FAB VG 451T	CLEAR ANODIZED CLEAR ANODIZED
METAL PARAPET COPING	GAF M-WELD FORMED COPING	DARK BRONZE
WALL PANELS	PORCELAIN - CERAMICS TERRA COTTA - TERRAS ALUMINUM COMPOSITE MATERIAL	STONE BRAIES SK01 CHOCOLATE TC18 ACM - STATUARY BRONZE AB017 ACM - SILVER METALLIC AB023



CADENCE
Bank

Starkville Midtown Branch Bank
400 University Drive, Starkville, Mississippi 39759

[illegible]



SOUTHWEST PERSPECTIVE



SOUTH PERSPECTIVE



EAST PERSPECTIVE



Starkville Midtown Branch Bank
400 University Drive, Starkville, Mississippi 39759

[illegible]

Attachment 4- First Denial Letter

dunaway **WILLIAMS**
architects

1804 North State Street Jackson, MS 39202 601.209.7334 | 662.617.0689

Daniel Havelin, AICP, PLA
City Planner
City of Starkville
110 West Main Street
Starkville, MS 39759

June 5, 2023

RE: Architectural Review – Cadence Bank

Dear Mr. Havelin,

Attached you will find my review of the Cadence Bank in Midtown Starkville. I have reviewed the building with regards to its architectural character according to the Development Standards of Section 14. I do not recommend approval of this building. See comments on Standards T-5C checklist.

Sincerely,



Carley Crigler Dunaway, AIA



1804 North State Street Jackson, MS 39202 601.209.7334 | 662.617.0689

City of Starkville, Mississippi

Architectural Review

Section 14 Development Standards

T-5C Corridor Form-based District

dW Project No.: 004

Project Name: Cadence Bank- Starkville Midtown Branch Bank

General Parking Requirements

- ☒ Curb cuts locations for driveways shall be reviewed by the Development Review Committee as part of site plan approval in accordance with the City's access management policy.
- ☒ Entrances and exits to the site shall be located such that parking spaces and traffic aisles do not conflict with entering and exiting traffic.
- ☐ Shared driveways may be required as part of site plan approval. [N/A](#)
- ☒ The number of required on-site parking spaces shall be determined by the requirements in Section 13. Use Regulations.
- ☐ Parking lot setbacks shall not be paved and shall comply with base dimensional standards for the zoning district.
- ☒ Parking and/or loading areas shall be designed to prevent vehicles from backing out directly into any public street.
- ☒ Parking lots adjacent to the street shall be either asphalt, concrete, pavers, or gravel. Gravel lots shall provide a six (6) inch vertical concrete curb to contain loose gravel within the parking lot. Gravel lots shall also provide a minimum of an eight (8) foot concrete or paver apron at each entrance to the lot measured from the property line.
- ☐ Residential driveways adjacent to the street shall be either asphalt, concrete, pavers, or gravel. Gravel driveways must have minimum of eight (8) foot concrete apron adjacent to the street measured from the property line to prevent gravel from being deposited into the street. [N/A](#)
- ☒ Parking lots adjacent to a street shall be screened from view from the street by a building or brick masonry wall at least four (4) feet in height.

Parking Layout

- ✓✓ Perimeter islands shall be provided in accordance with the parking setbacks for the use and zoning district.
- ✓✓ A terminal island with a minimum dimension of nine (9) feet by eighteen (18) feet, measured from face of curb, shall be required at the end of each row of parking.
- ✓✓ An interior island not less than nine (9) feet wide and eighteen (18) feet in length, measured from face of curb, shall be installed for every twelve (12) parking spaces. For lots with less than fifteen (15) parking spaces, no interior island is required.
- ✓✓ All parking space are to striped with a minimum of a four (4) inch white stripe unless the parking area is gravel.
- ✓✓ Median islands may be combined as part of an innovative stormwater management solution if approved by the Development Review Committee as part of site plan approval. The combined area shall be equal to or greater than the required area of required medians and be located within the off-street parking area.
- ✓✓ A median island shall be provided between every four (4) single parking rows. For lots with less than fifteen (15) parking spaces, no median island is required. Median islands shall have a minimum inside width of 5 feet with a six (6) inch high by six (6) inch wide concrete curb.
- ✓✓ All ADA accessible parking spaces shall be dimensioned, signed, and striped in accordance with the Americans with Disability Act requirements.

External to Site

- ✓✓ Sidewalks shall be broom finished concrete designed and finished to match adjacent sidewalks. The use of brick pavers or concrete pavers shall only be allowed with the approval of the City Engineer. The use of asphalt and gravel is prohibited.

Internal Circulation

- ✓✓ Internal pedestrian circulation shall be provided to create interconnected walkways safely conveying pedestrians from adjacent streets and parking areas to the site destination.
- ✓✓ Sidewalk material may include brick pavers, concrete pavers, stone, washed aggregate concrete, broom finished concrete, or stamped concrete. The use of asphalt and gravel is prohibited.
- ✓✓ Crosswalks shall be designated by white pavement striping or materials of a different color and texture from the surrounding surface but conforming to the overall color scheme of the development.

- ☒ Walkways shall be distinguished from driving surfaces by using varied paving treatments and by raising walkways to curb level.

Site Lighting and Building Illumination [Site Lighting not provided.](#)

- ☐ Streets, driveways, parking lots, pedestrian areas, and service areas shall be adequately illuminated as evenly as possible. The maximum light level of any light fixture cannot exceed half (0.5) a foot candle measured at the property line of any Residential District and two (2) foot candles measured at the right-of-way line of a street. Lighting intensity shall be demonstrated by means of a site lighting plan illustrating compliance.
- ☐ Lighting shall be shielded, shaded, or directed to prevent light from being cast on adjacent property. Pole mounted lighting shall be full cut-off with shields, reflectors, or refractor panels to direct and cut-off emitted light at ninety (90) degrees or less.
- ☐ No exterior lighting fixtures shall be placed or directed so as to interfere with the operation of vehicles within the public right-of-way.
- ☐ No exterior light shall have any blinking, flashing, or fluttering light, or other illuminating device which has a changing light intensity or brightness of color.
- ☐ Pole mounted lighting shall be required within a parking lot with more than fifteen (15) parking spaces.

Pole mounted lighting shall not exceed twenty (20) feet in height within a parking lot, vehicular display area, or service area.
- ☐ Pole mounted lighting shall not exceed a maximum height of fifteen (15) feet within pedestrian areas.

Building Form and Materials

- ☒ Buildings adjacent to the street shall be oriented parallel to the streets they face.
- ☐ The primary public entrance of any building adjacent to a street shall be located along the street that the building fronts. [The entrance is hard to detect from University Drive.](#)
- ☒ Materials and colors used on the street facade face shall continue to the sides and rear of the building where visible from a street right-of-way or adjacent residence.
- ☒ Interior walls shall not be placed closer than five (5) feet to any window required as part of the transparency requirement for that district.

- ✓✓ Articulation in building facades shall be required for all street facing building facades more than sixty (60) feet in length. At least two (2) portions of the street-facing building facade must have wall variations (projections or recessions) of at least two (2) feet in depth. The combination of the required length of the wall variations shall total no less than fifteen percent (15%) of the length of the building. Building facades less than sixty (60) feet shall have at least one (1) wall variation of at least two (2) feet in depth and a length greater than five (5) feet.

Roofing

- ✓✓ All newly constructed buildings adjacent to a street shall have either a parapet style roof or a pitched roof of not less than 4/12. A parapet shall be constructed to match the facade of the building using the same material and colors. The parapet facade shall be designed such that the reverse side of all elements shall not be visible from any street. False mansards are prohibited. The roofing material for pitched roofs shall be either standing seam metal or architectural shingle. The Parapet roof design and color of all roofing material for pitched roofs shall be approved by the Architecture Review Board.
- ✓✓ Rooftop equipment must be screened from public view.

Facade Materials

- ✓✓ The use of printed building wraps on the facade of a building, accessory building or accessory dwelling unit is prohibited. Art Murals are not considered building wraps.
- ✗ All newly constructed buildings shall have facade materials selected from any of the following: brick, cementitious stucco, fiber cement siding, and cast stone. Dryvit or EIFS may only be used for wall surfaces above the first floor and in banding, decorator strips, cornice lines, and wall capping on any floor. [Porcelain wall panels are not listed in approved materials.](#)
[ACM \(Metal Panels\) are not listed in approved materials.](#)

Facade Color

- ✓✓ The primary facade colors shall be low reflectance, subtle, neutral, or earth tones. The use of high intensity, metallic flake, or fluorescent colors is prohibited.

Fences

- ✓✓ Fences and walls within a development shall be compatible design and materials of the surrounding area.
- ✓✓ Fences and walls shall be constructed such that the “finished” part of the fence or wall is located toward and facing the exterior of the property.
- ✓✓ Uncoated or coated chain link and other wire material fences shall not be permitted in a front yard unless fence is part of recreational use.



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-
- ☒ Fences, other than ones required for alcohol service, shall not be permitted in the front yard.

Retaining Walls

- ☐ Concrete retaining walls that are visible from the right-of-way or adjacent residential property shall be finished with an approved stamped concrete pattern, brick, natural stone, artificial stone, or stucco. All retaining walls six (6) feet tall or less shall have a coping or cap on the top of the wall. N/A
- ☐ Segmented retaining walls shall be tinted with subtle, neutral, or earth tone colors that fit in the context of the surrounding property. N/A
- ☒ Wood retaining walls are not permitted.

Location and Screen of Solid Waste Containers

- ☒ Dumpsters, waste oil, and grease container areas shall be considered solid waste containers and comply with Chapter 94- Solid Waste.
- ☒ The vehicular access gate for dumpster enclosures shall be constructed with a sturdy metal frame and hinges. Hinge assemblies shall be strong and durable to prevent sagging. Gates shall be clad with an opaque non-see-through material. The use of a chain-link gate with or without slats is prohibited. Gates shall not swing over the property line or into the public right-of-way.
- ☒ A separate pedestrian access enclosure gate may be required during site plan review by the Development Review Committee.
- ☒ Enclosure walls shall be constructed of brick or split-face masonry block. The veneer of the enclosure shall complement the materials used on the primary building. The use of wood, artificial wood, and vinyl shall only be permitted when the enclosure is not visible from any public right-of-way as determined during site plan review by the Development Review Committee.
- ☐ Enclosures shall not be located within twenty (20) feet of the front wall of the primary building or within any setback adjacent to a street. Dumpster is currently located within setback. However, I feel like it is in the proper location on the site.
- ☐ Enclosures adjacent to residential use districts shall be placed as far as possible from the adjacent residential property within the rear of the property. N/A
- ☒ No front-end-loaded refuse container shall be located within six (6) feet of any building or structure, nor sited below obstructing wires, electrical service equipment, fire protection equipment, nor any roof overhangs nor sited adjacent to any other obstruction to the

container dumping process. A service height clearance of twenty-five (25) feet is required in the container service access area.

Buffers

- ☒ Separation Buffers shall be required according to Development Standards.

Landscaping Lot frontage Along Roadway

- ☒ One (1) canopy tree per lot shall be placed in the front yard of each newly platted detached and/or duplex residential subdivisions within twenty (20) feet of the right-of-way. For lots with a lot frontage greater than one hundred (100) feet, and additional canopy tree shall be required for every one hundred (100) feet.

Landscaping Parking Lot Perimeter Island

- ☒ One (1) canopy tree shall be required for every thirty (30) linear feet and a continuous row of shrubs shall be planted along the entire length of the perimeter island next to street frontage or adjacent property with a minimum mature height of three (3) feet and a maximum spacing of ninety percent (90%) of the shrubs expected spread within three (3) years of planting. Buffer requirements shall take precedence.

Landscaping Parking Lot Terminal Island

- ☒ One (1) canopy tree shall be required for each row with a terminal island.
- ☒ In addition to the required canopy tree(s), terminal islands with less than two hundred (200) square feet shall be planted with shrubs and/or groundcovers to provide complete coverage within three (3) years of planting. Any additional area within the terminal island may be grassed.

Landscaping Parking Lot Interior Island

- ☒ One (1) canopy tree shall be required for each interior island.
- ☒ In addition to the required canopy tree(s), interior islands less than two-hundred (200) square feet shall be planted with shrubs and/or groundcovers to provide complete coverage within three (3) years of planting. Interior islands that are more than two hundred (200), may use a combination of shrubs, groundcovers, and turf for the areas greater than two-hundred (200) square feet.

Landscaping Parking Lot Median Islands

- ☐ One (1) canopy tree shall be required for every thirty (30) linear feet of a median island. N/A



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-
- ☒ In addition to the required canopy tree(s), median island less than seven (7) feet in width shall be planted with a minimum of fifty percent (50%) shrubs and/or groundcovers. Any additional area within the interior island may be grassed.
 - ☒ In addition to the required canopy tree(s), median island more than seven (7) feet in width shall be planted with a minimum of twenty-five percent (25%) shrubs and/or groundcovers. Any additional area within the interior island may be grassed.

☐ Approved

☒ Disapproved

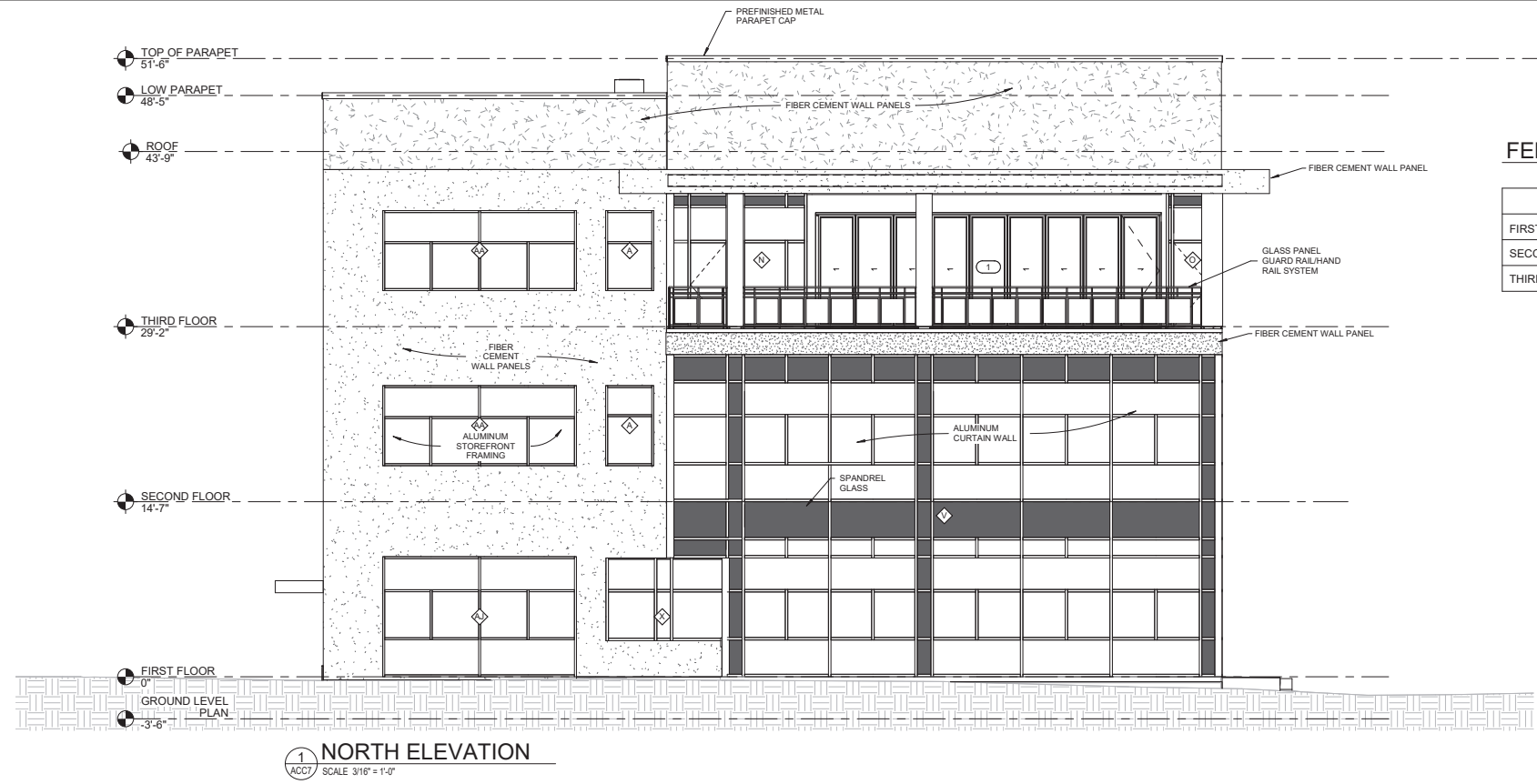
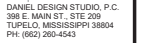
Comments:

1. I do not see any site lighting on the site plan.
2. The entrance is a little difficult to detect from University Drive.
3. Porcelain Wall Panels and ACM (Metal Panels) are not listed as approved materials. I find it difficult to interpret and had difficulty figuring out exactly what these panels are. An exact website address and a physical sample of material could be put under further review if the city would allow it.
4. The dumpster is currently located within a setback. However, I feel like it is in the appropriate location on the site.

Carley Crigler Dunaway, AIA

6/5/2023

Date



FENESTRATION CALCULATIONS

	WALL AREA	TRANSPARENCY AREA	% OF TRANSPARENCY
FIRST FLOOR	4,871.14 SF	2,710.75 SF	56%
SECOND FLOOR	4,532.09 SF	1,624.77 SF	36%
THIRD FLOOR	4,404.66 SF	1,577.69 SF	36%

EXTERIOR COLORS LEGEND

CARAT - ANTHRACITE - 7025NRI



VANTAGO - GRAY - V1-11



VANTAGO - WHITE - V1-09



2
ACC1

WEST ELEVATION
SCALE 3/16" = 1'-0"

MATERIAL	PRODUCT	CO
DOORS	HOLLOW METAL DOORS NANAWALL - NW ALUMINUM 840 FRAMED GLASS WALL SYSTEM ALUMINUM FRAME MANUFACTURED 250 IP	PAIN - CLEAR

EXTERIOR FINISH SCHEDULE

MATERIAL	PRODUCT	COLOR
DOORS	HOLLOW METAL DOORS NANAWALL - NW ALUMINUM 840 FRAMED GLASS WALL SYSTEM ALUMINUM FRAMED STREFFONT - KAWNEER 350 IR	PAINT - COLOR TO MATCH SURROUNDING WALL CLEAR ANODIZED CLEAR ANODIZED
WINDOWS	KAWNEER 1600 WALL SYSTEM 3 KAWNEER TRI-FAB VG 451T	CLEAR ANODIZED CLEAR ANODIZED
METAL PARAPET COPING	GAF M-WELD FORMED COPING	DARK BRONZE
WALL PANELS	FIBER CEMENT - CLADDING CORP - CARAT FIBER CEMENT - CLADDING CORP - VINTAGO FIBER CEMENT - CLADDING CORP - VINTAGO	ANTHRACITE - 7025NRI WHITE - V1-09 GRAY - V1-11

MARK	DATE	DESCRIPTION
A	MAY 2, 2023	ACC SUBMITTAL
B	JULY 19, 2023	ACC RE-SUBMITTA

Review Set

Not
for
Construction

PROJECT NO.	2021817
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DESIGNED BY:	SPD
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DRAWN BY:	KA
-----------	----

CHECKED BY:	SPD
EMERGENCY RELATIONS	

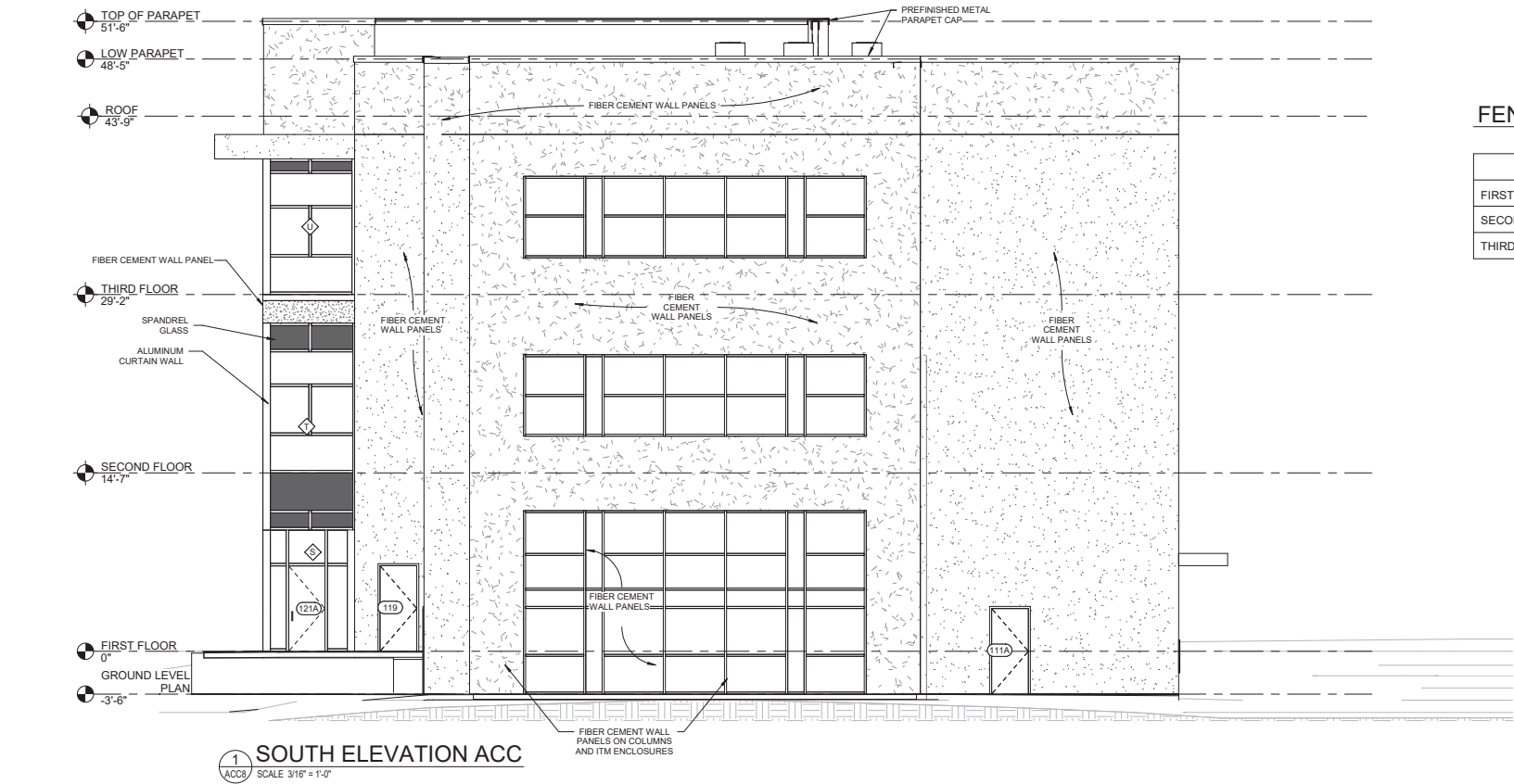
EXTERIOR ELEVATIONS

ACC7

ACC7

OF 12

SCALE: As indicated

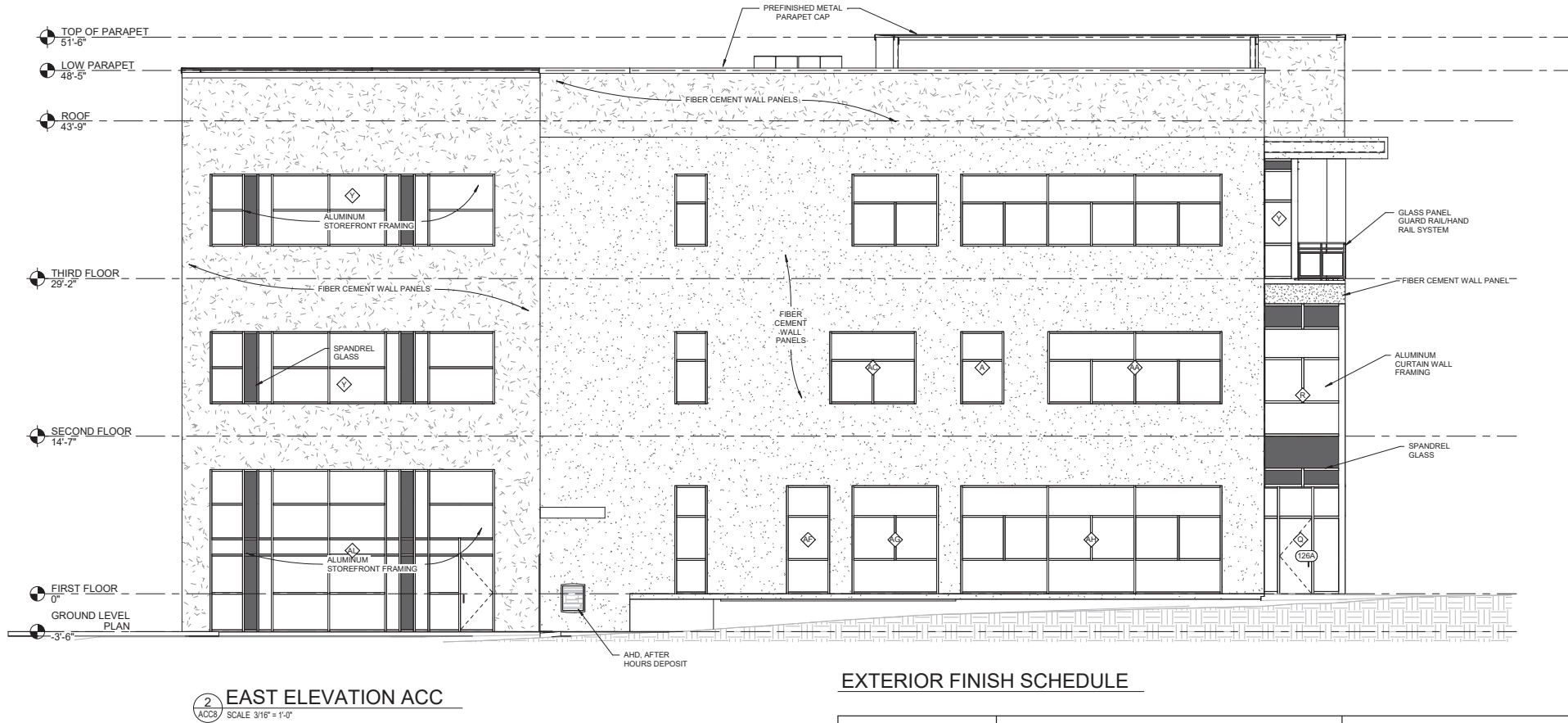


FENESTRATION CALCULATIONS

	WALL AREA	TRANSPARENCY AREA	% OF TRANSPARENCY
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EXTERIOR COLORS LEGEND

- CARAT - ANTHRACITE - 7025NR1
- VANTAGO - GRAY - V1-11
- VANTAGO - WHITE - V1-09



EXTERIOR FINISH SCHEDULE

MATERIAL	PRODUCT	COLOR
DOORS	HOLLOW METAL DOORS NANAWALL - NW ALUMINUM 840 FRAMED GLASS WALL SYSTEM ALUMINUM FRAMED STREFFRONT - KAWNEER 350 IR	PAINT - COLOR TO MATCH SURROUNDING WALL CLEAR ANODIZED CLEAR ANODIZED
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DANIEL
DESIGN
STUDIO

DANIEL DESIGN STUDIO, P.C.
388 E. MAIN ST., STE. 209
TUPELO, MISSISSIPPI 38804
PH: (662) 293-4543

CADENCE
Bank

Starkville Midtown Branch Bank

400 University Drive, Starkville, Mississippi 39759

MARK	DATE	DESCRIPTION
A	MAY 2, 2023	ACC SUBMITTAL
B	JULY 19, 2023	ACC RE-SUBMITTA

Review
Set

Not
for
Construction

PROJECT NO. 2021817

DESIGNED BY: SPD

DRAWN BY: KA

CHECKED BY: SPD

EXTERIOR ELEVATIONS

ACC8

OF 12

SCALE: As indicated

7/19/2023 9:52:45 PM

Attachment 6- Second Denial Letter

dunawayWILLIAMS
architects

1804 North State Street Jackson, MS 39202 601.209.7334 | 662.617.0689

Daniel Havelin, AICP, PLA
City Planner
City of Starkville
110 West Main Street
Starkville, MS 39759

July 31, 2023

RE: Architectural Review – Cadence Bank
Re-Submit

Dear Mr. Havelin,

Attached you will find my review of the Cadence Bank in Midtown Starkville. I have reviewed the building with regards to its architectural character according to the Development Standards of Section 14. I do not recommend approval of this building. See comments on Standards T-5C checklist.

Comments on materials and context are found at the end of the review.

Sincerely,


Carley Crigler Dunaway, AIA



1804 North State Street Jackson, MS 39202 601.209.7334 | 662.617.0689

City of Starkville, Mississippi

Architectural Review

Section 14 Development Standards

T-5C Corridor Form-based District

dW Project No.: 004

Project Name: Cadence Bank- Starkville Midtown Branch Bank

General Parking Requirements

- ☒ Curb cuts locations for driveways shall be reviewed by the Development Review Committee as part of site plan approval in accordance with the City's access management policy.
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- ☐ Shared driveways may be required as part of site plan approval. [N/A](#)
- ☒ The number of required on-site parking spaces shall be determined by the requirements in Section 13. Use Regulations.
- ☐ Parking lot setbacks shall not be paved and shall comply with base dimensional standards for the zoning district.
- ☒ Parking and/or loading areas shall be designed to prevent vehicles from backing out directly into any public street.
- ☒ Parking lots adjacent to the street shall be either asphalt, concrete, pavers, or gravel. Gravel lots shall provide a six (6) inch vertical concrete curb to contain loose gravel within the parking lot. Gravel lots shall also provide a minimum of an eight (8) foot concrete or paver apron at each entrance to the lot measured from the property line.
- ☐ Residential driveways adjacent to the street shall be either asphalt, concrete, pavers, or gravel. Gravel driveways must have minimum of eight (8) foot concrete apron adjacent to the street measured from the property line to prevent gravel from being deposited into the street. [N/A](#)
- ☒ Parking lots adjacent to a street shall be screened from view from the street by a building or brick masonry wall at least four (4) feet in height.



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Parking Layout

- ✓✓ Perimeter islands shall be provided in accordance with the parking setbacks for the use and zoning district.
- ✓✓ A terminal island with a minimum dimension of nine (9) feet by eighteen (18) feet, measured from face of curb, shall be required at the end of each row of parking.
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- ✓✓ Median islands may be combined as part of an innovative stormwater management solution if approved by the Development Review Committee as part of site plan approval. The combined area shall be equal to or greater than the required area of required medians and be located within the off-street parking area.
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External to Site

- ✓✓ Sidewalks shall be broom finished concrete designed and finished to match adjacent sidewalks. The use of brick pavers or concrete pavers shall only be allowed with the approval of the City Engineer. The use of asphalt and gravel is prohibited.

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- ✓✓ Internal pedestrian circulation shall be provided to create interconnected walkways safely conveying pedestrians from adjacent streets and parking areas to the site destination.
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- ✓✓ Crosswalks shall be designated by white pavement striping or materials of a different color and texture from the surrounding surface but conforming to the overall color scheme of the development.

Solving Problems. Creating Spaces.

- ☒ Walkways shall be distinguished from driving surfaces by using varied paving treatments and by raising walkways to curb level.

Site Lighting and Building Illumination [Site Lighting not provided.](#)

- ☐ Streets, driveways, parking lots, pedestrian areas, and service areas shall be adequately illuminated as evenly as possible. The maximum light level of any light fixture cannot exceed half (0.5) a foot candle measured at the property line of any Residential District and two (2) foot candles measured at the right-of-way line of a street. Lighting intensity shall be demonstrated by means of a site lighting plan illustrating compliance.
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Building Form and Materials

- ☒ Buildings adjacent to the street shall be oriented parallel to the streets they face.
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- ☒ Materials and colors used on the street facade face shall continue to the sides and rear of the building where visible from a street right-of-way or adjacent residence.
- ☒ Interior walls shall not be placed closer than five (5) feet to any window required as part of the transparency requirement for that district.

- ✓✓ Articulation in building facades shall be required for all street facing building facades more than sixty (60) feet in length. At least two (2) portions of the street-facing building facade must have wall variations (projections or recessions) of at least two (2) feet in depth. The combination of the required length of the wall variations shall total no less than fifteen percent (15%) of the length of the building. Building facades less than sixty (60) feet shall have at least one (1) wall variation of at least two (2) feet in depth and a length greater than five (5) feet.

Roofing

- ✓✓ All newly constructed buildings adjacent to a street shall have either a parapet style roof or a pitched roof of not less than 4/12. A parapet shall be constructed to match the facade of the building using the same material and colors. The parapet facade shall be designed such that the reverse side of all elements shall not be visible from any street. False mansards are prohibited. The roofing material for pitched roofs shall be either standing seam metal or architectural shingle. The Parapet roof design and color of all roofing material for pitched roofs shall be approved by the Architecture Review Board.
- ✓✓ Rooftop equipment must be screened from public view.

Facade Materials

- ✓✓ The use of printed building wraps on the facade of a building, accessory building or accessory dwelling unit is prohibited. Art Murals are not considered building wraps.
- ✗ All newly constructed buildings shall have facade materials selected from any of the following: brick, cementitious stucco, fiber cement siding, and cast stone. Dryvit or EIFS may only be used for wall surfaces above the first floor and in banding, decorator strips, cornice lines, and wall capping on any floor. [See comments at end of document.](#)

Facade Color

- ✗ The primary facade colors shall be low reflectance, subtle, neutral, or earth tones. The use of high intensity, metallic flake, or fluorescent colors is prohibited. [The white color at the street level seems very intense.](#)

Fences

- ✓✓ Fences and walls within a development shall be compatible design and materials of the surrounding area.
- ✓✓ Fences and walls shall be constructed such that the “finished” part of the fence or wall is located toward and facing the exterior of the property.
- ✓✓ Uncoated or coated chain link and other wire material fences shall not be permitted in a front yard unless fence is part of recreational use.

-
- ☒ Fences, other than ones required for alcohol service, shall not be permitted in the front yard.

Retaining Walls

- ☐ Concrete retaining walls that are visible from the right-of-way or adjacent residential property shall be finished with an approved stamped concrete pattern, brick, natural stone, artificial stone, or stucco. All retaining walls six (6) feet tall or less shall have a coping or cap on the top of the wall. N/A
- ☐ Segmented retaining walls shall be tinted with subtle, neutral, or earth tone colors that fit in the context of the surrounding property. N/A
- ☒ Wood retaining walls are not permitted.

Location and Screen of Solid Waste Containers

- ☒ Dumpsters, waste oil, and grease container areas shall be considered solid waste containers and comply with Chapter 94- Solid Waste.
- ☒ The vehicular access gate for dumpster enclosures shall be constructed with a sturdy metal frame and hinges. Hinge assemblies shall be strong and durable to prevent sagging. Gates shall be clad with an opaque non-see-through material. The use of a chain-link gate with or without slats is prohibited. Gates shall not swing over the property line or into the public right-of-way.
- ☒ A separate pedestrian access enclosure gate may be required during site plan review by the Development Review Committee.
- ☒ Enclosure walls shall be constructed of brick or split-face masonry block. The veneer of the enclosure shall complement the materials used on the primary building. The use of wood, artificial wood, and vinyl shall only be permitted when the enclosure is not visible from any public right-of-way as determined during site plan review by the Development Review Committee.
- ☒ Enclosures shall not be located within twenty (20) feet of the front wall of the primary building or within any setback adjacent to a street. Dumpster is currently located within setback. However, I feel like it is in the proper location on the site.
- ☐ Enclosures adjacent to residential use districts shall be placed as far as possible from the adjacent residential property within the rear of the property. N/A
- ☒ No front-end-loaded refuse container shall be located within six (6) feet of any building or structure, nor sited below obstructing wires, electrical service equipment, fire protection equipment, nor any roof overhangs nor sited adjacent to any other obstruction to the

container dumping process. A service height clearance of twenty-five (25) feet is required in the container service access area.

Buffers

- ☒ Separation Buffers shall be required according to Development Standards.

Landscaping Lot frontage Along Roadway

- ☒ One (1) canopy tree per lot shall be placed in the front yard of each newly platted detached and/or duplex residential subdivisions within twenty (20) feet of the right-of-way. For lots with a lot frontage greater than one hundred (100) feet, and additional canopy tree shall be required for every one hundred (100) feet.

Landscaping Parking Lot Perimeter Island

- ☒ One (1) canopy tree shall be required for every thirty (30) linear feet and a continuous row of shrubs shall be planted along the entire length of the perimeter island next to street frontage or adjacent property with a minimum mature height of three (3) feet and a maximum spacing of ninety percent (90%) of the shrubs expected spread within three (3) years of planting. Buffer requirements shall take precedence.

Landscaping Parking Lot Terminal Island

- ☒ One (1) canopy tree shall be required for each row with a terminal island.
- ☒ In addition to the required canopy tree(s), terminal islands with less than two hundred (200) square feet shall be planted with shrubs and/or groundcovers to provide complete coverage within three (3) years of planting. Any additional area within the terminal island may be grassed.

Landscaping Parking Lot Interior Island

- ☒ One (1) canopy tree shall be required for each interior island.
- ☒ In addition to the required canopy tree(s), interior islands less than two-hundred (200) square feet shall be planted with shrubs and/or groundcovers to provide complete coverage within three (3) years of planting. Interior islands that are more than two hundred (200), may use a combination of shrubs, groundcovers, and turf for the areas greater than two-hundred (200) square feet.

Landscaping Parking Lot Median Islands

- ☐ One (1) canopy tree shall be required for every thirty (30) linear feet of a median island. N/A



1804 North State Street Jackson, MS 39202 601.209.7334 | 662.617.0689

- ☒ In addition to the required canopy tree(s), median island less than seven (7) feet in width shall be planted with a minimum of fifty percent (50%) shrubs and/or groundcovers. Any additional area within the interior island may be grassed.
- ☒ In addition to the required canopy tree(s), median island more than seven (7) feet in width shall be planted with a minimum of twenty-five percent (25%) shrubs and/or groundcovers. Any additional area within the interior island may be grassed.

☐ Approved

☒ Disapproved

Comments:

1. I do not see any site lighting on the site plan.
2. I am now questioning the idea of the contentious panel. Panels are not specifically called out in the list of materials. What will be the actual panel sizes and joint pattern?

This is a major corridor thoroughfare and contextually these panels do not fit the area. Brick would be a much more suitable material particularly given the magnitude of a bank. I am also questioning the choice of the white color. I feel like its reflectance will be over powering at this intersection. This area is meant to be the connection between downtown and the Cotton District that leads to the university. It should be building that holds its own but creates a connection to all of these things that happen in Starkville. This will be one of the most dominant corners in all of the city.

A handwritten signature in blue ink that reads "Carley Crigler Dunaway".

Carley Crigler Dunaway, AIA

7/31/2023

Date



	WALL AREA	TRANSPARENCY AREA	% OF TRANSPARENCY
FIRST FLOOR	4,871.14 SF	2,710.75 SF	56%
SECOND FLOOR	4,532.09 SF	1,624.77 SF	36%
THIRD FLOOR	4,404.66 SF	1,577.69 SF	36%



MATERIAL	PRODUCT	COLOR
DOORS	HOLLOW METAL DOORS NANAWALL - NW ALUMINUM 840 FRAMED GLASS WALL SYSTEM ALUMINUM FRAMED STREFFONT - KAWNEER 350 IR	PAINT - COLOR TO MATCH SURROUNDING WALL CLEAR ANODIZED CLEAR ANODIZED
WINDOWS	KAWNEER 1600 WALL SYSTEM 3 KAWNEER TRI-FAB VG 451T	CLEAR ANODIZED CLEAR ANODIZED
METAL PARAPET COPING	GAF M-WELD FORMED COPING	DARK BRONZE
WALL PANELS PER UDC 14.6.2.5.3	FIBER CEMENT - CLADDING CORP - CARAT FIBER CEMENT - CLADDING CORP - VINTAGO FIBER CEMENT - CLADDING CORP - VINTAGO	ANTHRACITE - 7025NRI WHITE - V1-091 GRAY - V1-011
CAST STONE PER UDC 14.6.2.5.3	BUILDING SOLUTIONS CAST STONE (HAMMERED TEXTURE)	COAL

MARK	DATE	DESCRIPTION
A	MAY 2 2023	ACC SUBMITTAL
B	JULY 19, 2023	ACC RE-SUBMITTAL
C	AUG 24, 2023	ACC RE-SUBMITTAL

Review Set

Not
for
Construction

PROJECT NO.	2021817
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DESIGNED BY:	SPD
--------------	-----

DRAWN BY:	KA
CHECKED BY:	SSB

CHECKED BY: SPD

EXTERIOR ELEVATIONS

EXTERIOR ELEVATIONS

ACC7

25.10

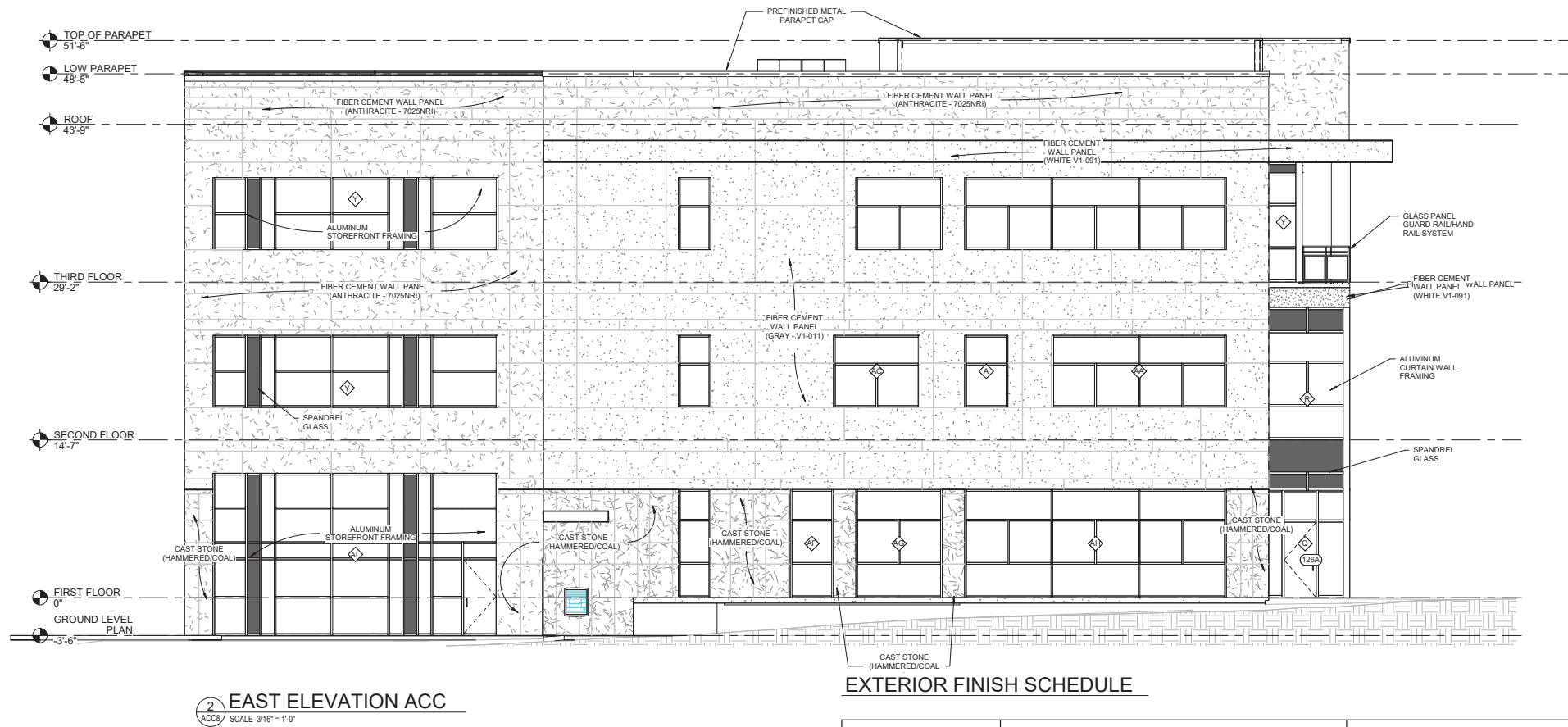
OF 12

SCALE: As indicated

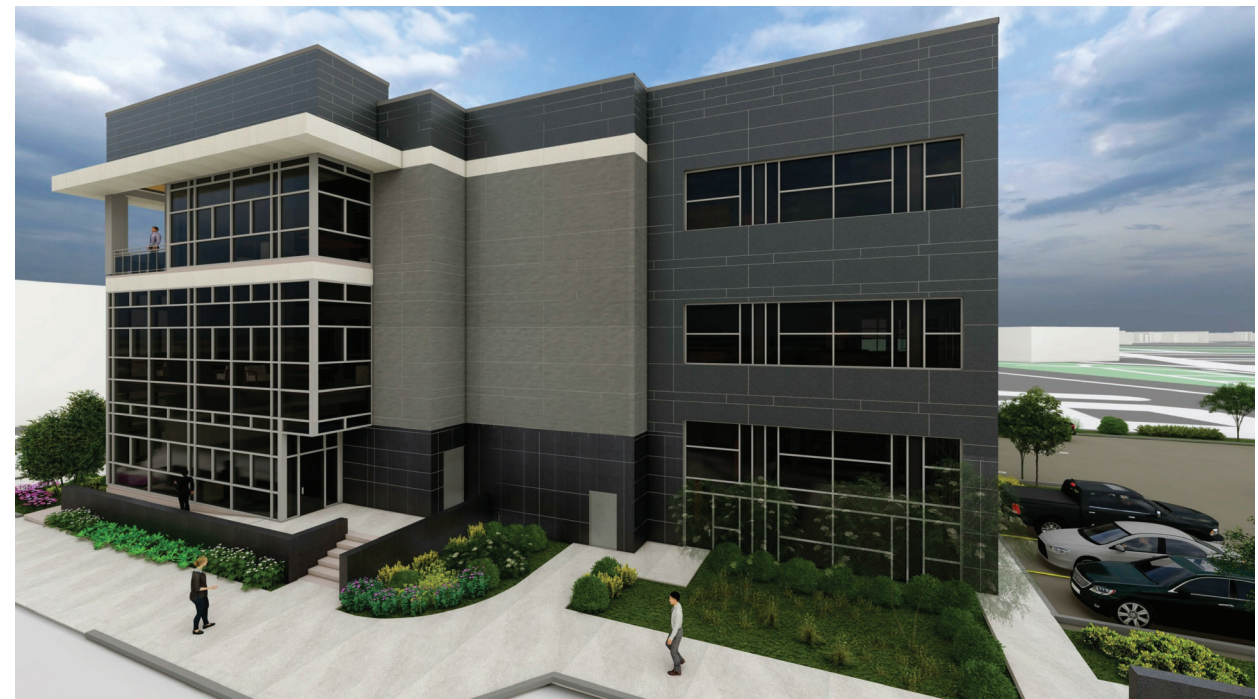
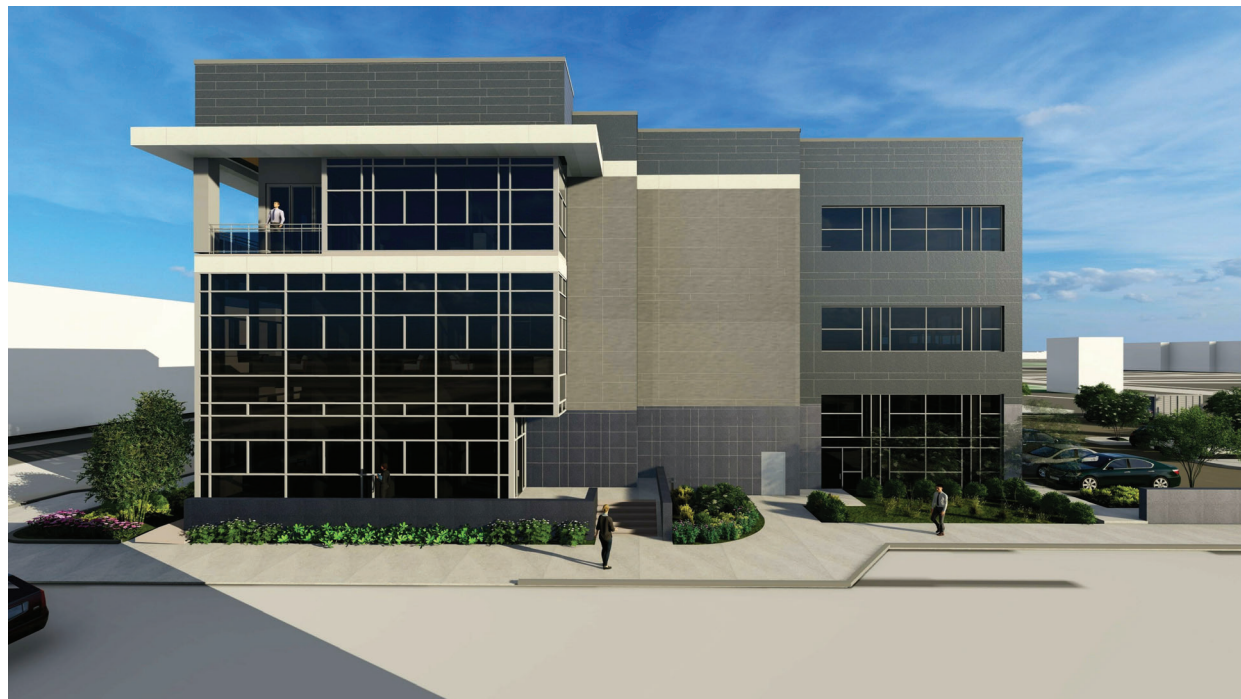
SCORE:	As indicated
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CAST STONE PER UDC 14.6.2.5.3	BUILDING SOLUTIONS CAST STONE (HAMMERED TEXTURE)	COAL



Starkville Midtown Branch Bank
400 University Drive, Starkville, Mississippi 39759

MARK	DATE	DESCRIPTION
A	MAY 19, 2023	ACC SUBMITTAL
B	JULY 19, 2023	ACC RESUBMITAL
C	AUG 24, 2023	ACC RE-SUBMITAL

Review Set

Not for Construction

PROJECT NO. 2021817

DESIGNED BY: Designer

DRAWN BY: Author

CHECKED BY: Checker

RENDERINGS

ACC9

OF 12

SCALE:



SOUTHWEST PERSPECTIVE



SOUTH PERSPECTIVE



EAST PERSPECTIVE



Starkville Midtown Branch Bank
400 University Drive, Starkville, Mississippi 39759

MARK	DATE	DESCRIPTION
A	MAY 19, 2023	ACC SUBMITTAL
B	JULY 19, 2023	ACC RESUBMITAL
C	AUG 24, 2023	ACC RE-SUBMITAL

Review Set

Not for Construction

PROJECT NO. 2021817

DESIGNED BY: Designer

CHECKED BY: Author

RENDERINGS

ACC10

OF 12

SCALE:

Attachment 8- Third Denial Letter



1804 North State Street Jackson, MS 39202 601.533.8741

Daniel Havelin, AICP, PLA
City Planner
City of Starkville
110 West Main Street
Starkville, MS 39759

September 18, 2023

RE: Architectural Review – Cadence Bank
Re-Submit 02

Dear Mr. Havelin,

Attached you will find my review of the Cadence Bank in Midtown Starkville. I have reviewed the building with regards to its architectural character according to the Development Standards of Section 14.

After careful consideration and evaluation, I do not recommend approval of this building as submitted. This decision was not taken lightly, and we understand the significant effort that went into its preparation. Since this is the third submission for review of this building, I asked more than one member of the committee to review it as well. Our collective comments are as follows:

1. From the previous design we went from having no joint or pattern lines to a design that is very busy. The pattern and rhythms of the joints do not line up. For instance, the window patterns do not match the panel patterns so there would be extra cut lines in the panel patterns. The joint patterns do not look consistent either. I realize there are multiple colors and sizes of these panels, but it not a very streamline approach.
2. The rendering of the model does not accurately reflect the texture and pattern of the materials. This is also making it difficult to decipher the exterior.
3. The main entry does not face the street and is not clear.

Overall, the proposed design does not align with what the committee and the city's objectives and vision for the building and site are. The committee would really like to see the building in masonry. Perhaps have a large-scale block base and brick above. Again, this is a major corridor thoroughfare and contextually in needs to be appropriate. When I previously questioned the white color, I did not mean that it had to completely go away or flip to the opposite color as the rendition has done. Also, having been a Cadence bank member for my entire life, I feel like the predominance of a bank should be felt and easily identified. The general aesthetic of the building, as it stands now, I feel is working towards a modern flare. I normally would be an advocate of such, but the context of this building is not appropriate. We please ask that you reevaluate the design and take into consideration the feedback from this and the previously supplied comments. If Mr. Daniels would like to send us some of these materials for in person review and make a case for the design, I certainly would be open to that communication.



1804 North State Street Jackson, MS 39202 601.533.8741

Sincerely,

A handwritten signature in blue ink that reads "Carley Crigler Dunaway".
Carley Crigler Dunaway, AIA

Solving Problems. Creating Spaces.

Attachment 9- Appeal Letter



September 22, 2023

Daniel Havelin, AICP, PLA
City Planner- City of Starkville
110 West Main Street
Starkville, Mississippi 39759

**RE: 2021817
Cadence Bank-
Starkville Midtown Branch
Starkville, Mississippi**

SUBJECT: Administrative Appeal Letter

Mr. Havelin,

It is our opinion that the proposed Cadence Branch Bank building design is consistent with all applicable development standards. It uses the allowable materials per UDC and we believe that it does fit into the city context.

Regarding an understanding of the context, the UDC states "approval is based on the provisions of the code, the contextual surroundings of the development, compatibility with existing developments, and compatibility with anticipated developments within the immediate area and the City as a whole." This means that all the existing buildings are part the context used for comparison of design whether they are new or old and whether they meet the current UDC requirements or not.

Colors, materials, and shapes define the buildings within the city. The different uses of each of these elements in building design help to make up the character and quality of the city. Too much of any one of these elements within the surrounding buildings causes the individuality to be blurred and there is a loss of what makes up the city's personality. The context becomes moot, everything begins to look the same.

The downtown of Starkville shows how different design ideas define what we know, an example being the current Cadence and Regions locations. They are completely different from each other and the surrounding buildings. They are prominent because of their colors, materials, and shapes. Whether someone likes or dislikes the style or idea, they have importance and individuality and that helps to make up the context of the city.

Our project site in and of itself is important because of its location along the major thoroughfares of University and Montgomery. Our building has prominence because of the use of colors, materials, and shapes. The design has individuality because it does not look like the neighboring buildings. The design idea goes further by interacting with users through form to create intrigue in the location of the entrances. The entrances are not parallel to the street as are most of the surrounding buildings, but they are on the face of the building directly abutting the main roads as is required by the UDC.

The rhythm of patterns may not be easily understood because it is not as repetitious and standard as other material patterns in the surrounding buildings. Our building plays with joints and materials lining up in different layers overlaid with patterns moving in the opposite direction.

The renderings show what is perceived at a distance from the building. The panel design is more about the larger elements of color. Prominent lines of window mullions catch your eye and are leading vertically and horizontally connecting to the larger elements of color and materials that make up the building.

We believe that the current Cadence Branch Bank design follows the standards and considers the surrounding context and the potential future development. Although it may be different in style from what is currently around the city, we feel certain that it should be part of the fabric of buildings that make up the city of Starkville.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Stephens Daniel', written over a horizontal line.

Stephens Daniel, AIA
Daniel Design Studio, P.C.

Enc.:

cc: Carol Drake
Curtis Reaves

Stephens Daniel, AIA
398 E. Main St., Ste. 209
Tupelo, Mississippi 38804
Ph (662) 260-4543

Attachment 9- Appeal Letter



September 22, 2023

Daniel Havelin, AICP, PLA
City Planner- City of Starkville
110 West Main Street
Starkville, Mississippi 39759

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Starkville Midtown Branch
Starkville, Mississippi**

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Enc.:

cc: Carol Drake
Curtis Reaves

Stephens Daniel, AIA
398 E. Main St., Ste. 209
Tupelo, Mississippi 38804
Ph (662) 260-4543



THE CITY OF STARKVILLE
PLANNING DEPARTMENT
PLANNING AND ZONING COMMISSION
CITY HALL, 110 WEST MAIN STREET
STARKVILLE, MISSISSIPPI 39759

STAFF REPORT

To: Members of the Planning & Zoning Commission
From: Daniel Havelin, City Planner (662-323-2525 ext. 3136)
Lyle McCaskey, Assistant City Planner (662-323-2525 ext. 3130)
Subject: A nomination and vote to elect a chairman and vice chairman of the Planning and Zoning Commission.
Date: October 10, 2023

2.2 Planning and Zoning Commission

2.2.6 Officers

In July of odd numbered years, members of the Planning and Zoning Commission shall meet in a regular session and organize by electing from their members a Chairman and a Vice-Chairman. The Chairman and Vice-Chairman shall be chosen by a simple majority of the Commission. The Chairman shall be non-voting member of the Commission unless need to break a tie vote or needed to create a quorum. All officers shall serve two (2)-year terms. If neither the Chairman nor the Vice-chairman is present, the City Planner shall act as Procedural Chair to initiate the meeting. Upon a motion from a present member, the remaining members shall select an Acting Chairman from the members in attendance at such meeting. The Commission shall have the authority to elect other officers or to organize in any other manner deemed necessary and appropriate to fulfill its duties.