



**OFFICIAL AGENDA
PLANNING & ZONING COMMISSION
CITY OF STARKVILLE, MISSISSIPPI
MEETING OF TUESDAY, JANUARY 14, 2025
1ST FLOOR CITY HALL – COURTROOM
110 WEST MAIN STREET AT 5:30 PM**

- I. CALL TO ORDER
- II. PLEDGE OF ALLEGIANCE AND MOMENT OF SILENCE
- III. ROLL CALL
- IV. CONSIDERATION OF THE OFFICIAL AGENDA
- V. CONSIDERATION FOR THE APPROVAL OF MINUTES
 - A. CONSIDERATION OF THE UNAPPROVED MINUTES OF DECEMBER 10, 2024.
- VI. CITIZEN COMMENTS
- VII. OLD BUSINESS
 - A. PUBLIC HEARING AND CONSIDERATION OF SE 24-09 A REQUEST FOR SPECIAL EXCEPTION TO ALLOW FOR AN ACCESSORY STRUCTURE WITHIN THE FRONT YARD AT 122 FRONTIER DRIVE IN A TN-E ZONING DISTRICT
 - B. PUBLIC HEARING AND CONSIDERATION OF SE 24-10 A REQUEST FOR SPECIAL EXCEPTION TO ALLOW FOR THE PLACEMENT OF AN ACCESSORY DWELLING UNIT AT 309 CENTRAL AVENUE WITHIN A TN-E ZONING DISTRICT
- VIII. NEW BUSINESS
 - A. PUBLIC HEARING AND CONSIDERATION OF SE 24-11 A REQUEST FOR SPECIAL EXCEPTION TO ALLOW FOR THE PLACEMENT OF AN ACCESSORY DWELLING UNIT AT 524 GREENSBORO STREET WITHIN A TN-E ZONING DISTRICT
 - B. PUBLIC HEARING AND CONSIDERATION OF SE 24-12 A REQUEST FOR SPECIAL EXCEPTION TO ALLOW FOR A 4TH FLOOR LOCATED AT 518 UNIVERSITY DRIVE WITHIN A T5-U ZONING DISTRICT
 - C. PUBLIC HEARING AND CONSIDERATION OF SE 24-13 A REQUEST FOR SPECIAL EXCEPTION TO ALLOW FOR THE PLACEMENT OF A MANUFACTURED HOME ON A VACANT LOT LOCATED AT 1560 LOUISVILLE STREET IN AN RN ZONING DISTRICT
- IX. ADJOURN

**APPROVED MINUTES OF THE MEETING OF
THE PLANNING AND ZONING COMMISSION
CITY OF STARKVILLE, MISSISSIPPI DECEMBER 10, 2024**

Be it remembered that the Planning and Zoning Commission members of the City of Starkville held a meeting on December 10, 2024, at 5:30 p.m. in the Courtroom of City Hall, located at 110 West Main Street, Starkville, MS.

Chairman Jeremiah Dumas, Ward 6; Vicki West, Ward 2; Joe Fratesi, Ward 3; Alexis Gregory, Ward 5; and Tommy Verdell, Ward 7, were physically present at the meeting. Kelly Prather, Ward 1, and Carl Smith, Ward 4, were absent. Assistant City Planner Lyle McCaskey, and Assistant City Attorney Jason Sharp were physically present.

Chairman Dumas opened the meeting with the Pledge of Allegiance, followed by a moment of silence.

IV. CONSIDERATION OF THE OFFICIAL AGENDA

There came for consideration the matter of the approval of the Official Agenda of the Planning and Zoning Commission of December 10, 2024, as presented.

**OFFICIAL AGENDA
PLANNING & ZONING COMMISSION
CITY OF STARKVILLE, MISSISSIPPI
MEETING OF TUESDAY, DECEMBER 10, 2024
1ST FLOOR CITY HALL – COURTROOM
110 WEST MAIN STREET AT 5:30 PM**

- I. CALL TO ORDER
- II. PLEDGE OF ALLEGIANCE AND MOMENT OF SILENCE
- III. ROLL CALL
- IV. CONSIDERATION OF THE OFFICIAL AGENDA
- V. CONSIDERATION FOR THE APPROVAL OF MINUTES
 - A. CONSIDERATION OF THE UNAPPROVED MINUTES OF OCTOBER 8, 2024.
- VI. CITIZEN COMMENTS
- VII. NEW BUSINESS
 - A. PUBLIC HEARING AND CONSIDERATION OF SE 24-09 A REQUEST FOR SPECIAL EXCEPTION TO ALLOW FOR AN ACCESSORY STRUCTURE WITHIN THE FRONT YARD AT 122 FRONTIER DRIVE IN A TN-E ZONING DISTRICT.
 - B. PUBLIC HEARING AND CONSIDERATION OF SE 24-10 A REQUEST FOR SPECIAL EXCEPTION TO ALLOW FOR THE PLACEMENT OF AN ACCESSORY DWELLING UNIT AT 309 CENTRAL AVENUE WITHIN A TN-E ZONING DISTRICT.
 - C. DISCUSSION AND CONSIDERATION OF THE PLANNING AND ZONING COMMISSION 2025 MEETING SCHEDULE WITH SUBMISSION DEADLINES.
- VIII. ADJOURN

After a discussion and upon the motion of Commissioner Gregory, duly seconded by Commissioner Fratesi, the motion to approve the official agenda of the Planning and Zoning Commission for December 10, 2024, received unanimous approval.

V. CONSIDERATION FOR THE APPROVAL OF MINUTES

A. CONSIDERATION OF THE UNAPPROVED MINUTES OF OCTOBER 8, 2024

After discussion and upon the motion of Commissioner Gregory, duly seconded by Commissioner West, the motion to approve the minutes of the Planning and Zoning Commission for October 8, 2024, received unanimous approval without changes.

VI. CITIZEN COMMENTS

The Chair opened up the meeting for citizen comments.

Calling for and receiving no comments, the Commission moved to New Business.

VII. NEW BUSINESS

A. PUBLIC HEARING AND CONSIDERATION OF SE 24-09 A REQUEST FOR SPECIAL EXCEPTION TO ALLOW FOR AN ACCESSORY STRUCTURE WITHIN THE FRONT YARD AT 122 FRONTIER DRIVE IN A TN-E ZONING DISTRICT.

Assistant City Planner Lyle MeCaskey presented the request by Norma Hendrix to allow for an accessory structure within the front yard at 122 Frontier Drive in a TN-E zoning district. Before the meeting an error in the notification process was discovered by staff and is recommended that the item be tabled until proper notice is given.

Chairman Dumas opened the public hearing.

Calling for and receiving no further comments, Chairman Dumas closed the public hearing.

After a discussion and upon the motion of Commissioner Gregory, duly seconded by Commissioner Fratesi, the motion to table SE 24-09 until proper notice had been given to the required parties received unanimous approval.

B. PUBLIC HEARING AND CONSIDERATION OF SE 24-10 A REQUEST FOR SPECIAL EXCEPTION TO ALLOW FOR THE PLACEMENT OF AN ACCESSORY DWELLING UNIT AT 309 CENTRAL AVENUE WITHIN A TN-E ZONING DISTRICT.

Assistant City Planner Lyle MeCaskey presented the request by Sule Ali to allow for the placement of an accessory dwelling unit at 309 Central Avenue within a TN-E zoning district. Before the meeting an error in the notification process was discovered by staff and is recommended that the item be tabled until proper notice is given.

Chairman Dumas opened the public hearing.

Calling for and receiving no further comments, Chairman Dumas closed the public hearing.

After a discussion and upon the motion of Commissioner Gregory, duly seconded by Commissioner Verdell, the motion to table SE 24-10 until proper notice had been given to the required parties received unanimous approval.

C. DISCUSSION AND CONSIDERATION OF THE PLANNING AND ZONING COMMISSION 2025 MEETING SCHEDULE WITH SUBMISSION DEADLINES.

Assistant City Planner Lyle MeCaskey presented the 2025 Meeting Schedule with submission deadlines.

After a discussion and upon the motion of Commissioner Gregory, duly seconded by Commissioner West, the motion received unanimous approval.

VIII. ADJOURN

There came for consideration the matter of the approval of the motion to adjourn until 5:30 p.m. on January 14, 2025, in the Courtroom of City Hall located at 110 West Main Street, Starkville, MS.

After discussion and upon the motion to adjourn until 5:30 p.m. on January 14, 2025, in the Courtroom located at 110 West Main Street, Starkville MS by Commissioner Smith, duly seconded by Commissioner Fratesi, the motion was unanimously approved.

Jeremiah Dumas, Commission Chair

Lyle MeCaskey, Assistant City Planner

STAFF REPORT

To: Members of the Planning & Zoning Commission
From: Daniel Havelin, City Planner (662-323-2525 ext. 3136)
Lyle McCaskey, Assistant City Planner (662-323-2525 ext. 3130)
Subject: Public Hearing and consideration of SE 24-09 a request for Special Exception to allow for an accessory structure within the front yard at 122 Frontier Drive in a TN-E zoning district
Date: January 14, 2025

The purpose of this report is to provide information regarding a Special Exception request by Norma Hendrix to allow for an accessory structure within the front yard at 122 Frontier Drive in a TN-E zoning with property #118K-00-030.00. Please see attachments 1- 3.

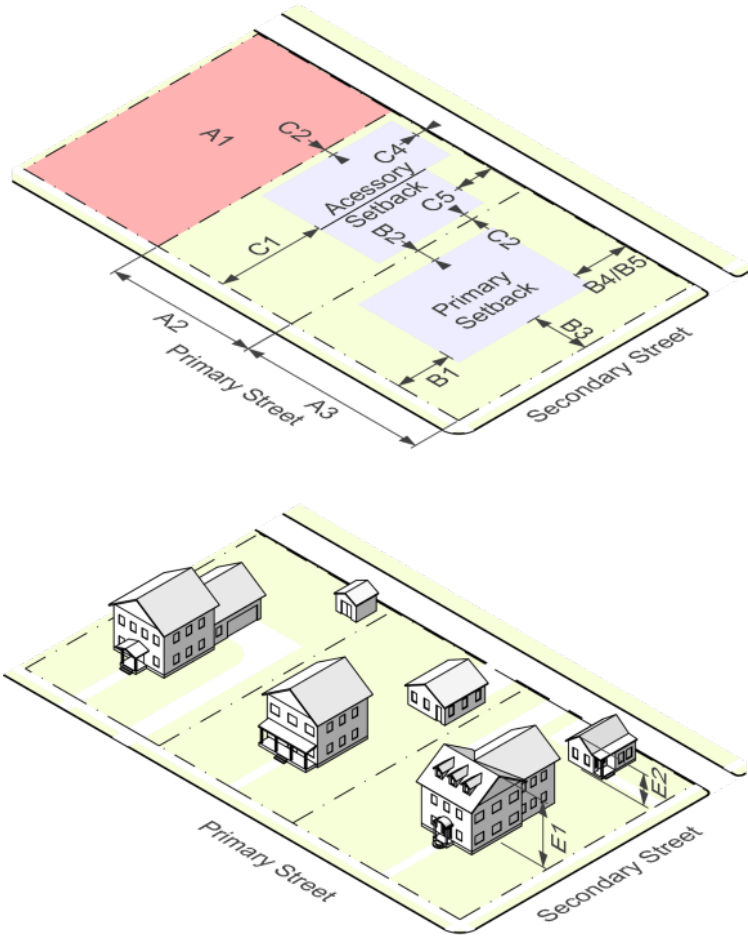
BACKGROUND INFORMATION

The applicant is seeking a Special Exception to be allowed to keep an open-air gazebo accessory structure in the front yard. The structure was built in 2023 without prior approval. Section 13.9.1.B.4.b states "A covered open-air structure shall not occupy any part of a required front yard unless it is part of the principal structure and meets current building code". The property is located on a corner lot with two front yards. Section 3.4 states "A special exception shall also include any request to deviate from the Use Standards, Development Standards, Subdivision Standards, or Base Dimensional Standards that are non-dimensional in nature". Since the requirement to not place the structure in the front yard is located within the Use Standards of the Unified Development Codes and the request is not dimensional in nature, the request is being reviewed as a Special Exception. Approval of the request is required to keep the structure in its current location.

Section 13.9.1 Accessory Use Or Structures (Excluding Dwellings)

- A. Definition:** An accessory use or structure that is incidental and subordinate to the principal use of the principal building. Structures with a kitchen area, full bathroom, electricity, and is heated or cooled shall be considered accessory dwellings.
- B. Accessory use or structure for residential uses**
1. **Covered, open-air structure**
 - a. No covered, open-air structure shall be erected within five (5) feet of a property line.
 - b. A covered open-air structure shall not occupy any part of a required front yard unless it is part of the principal structure and meets current building code

Section 6.3.4. Base Dimensional Standards



Detached and Attached Duplex Dwelling	
A. Lot Dimensions	TN-E
A1 Lot size per unit in sq. ft (min.)	5500
A2 Lot width (min.)	45'
A3 Lot width at corner (min.)	55'
B. Principal Building Setbacks	TN-E
B1 Front setback	15' or see infill standards
B. Principal Building Setbacks (cont.)	TN-E

CRITERIA FOR SPECIAL EXCEPTION REVIEW AND APPROVAL (Section 3.4.1)

1. **Site suitability.** The proposed location of the structure and use has adequate space for development, adequate access to the site, fits contextually with the surrounding area, and has been properly designed for any environmental constraints.
2. **Traffic.** There is no undue nuisance or serious hazard to pedestrian or vehicular traffic in the surrounding area by the proposed structure and use.

3. **Immediate neighborhood impact.** The proposed structure and use is not detrimental, injurious, obnoxious, or offensive to other properties in the neighborhood. Negative impacts can include excessive trip generation, noise, vibration, dust, glare, heat, smoke, fumes, gas, odors, and inappropriate hours of operation.
4. **Availability of public services.** The proposed structure and use is adequately served by sewer, water, electricity, fire protection, police protection, and provides for any stormwater requirements.
5. **Site Plan.** A site plan shall be reviewed by the Development Review Committee prior to review by the Planning and Zoning Commission. This review shall be to determine if elements have been adequately provided on the plan. These elements can include, but are not limited to: parking areas, loading areas, buffers, screening, landscaping, and signage. Additional approval by the Development Review Committee may be required for site plan approval after approval of a special exception.
6. **Impact on property values.** The proposed location of the structure and use will not cause or contribute to a decline in property values of surrounding properties.
7. **Consistency with Comprehensive Plan.** The proposed special exception is consistent with the goals, objectives, and policies of the Comprehensive Plan.
8. **Additional Standards.** All associated additional standards for the proposed building, sign, accessory structure, or site associated with the use have been adequately provided for on the site plan.

ABANDONMENT OR DISCONTINUANCE (Section 3.4.3.K)

Any built structure or site associated with an approved special exception may continue with the associated use unless the use is made a nonconformity by any subsequent zoning ordinance and/or action by the Board of Aldermen. All nonconformities shall be regulated in accordance with section 3.17. If a specific time is not set as part of the approval of a special exception, the special exception shall expire within 18 months if no building permit has been issued and/or construction activities have ceased on the site. A special exception for any sign type shall expire upon the abandonment or discontinuance of the use or business. Reapplication for a special exception for sign will be required.

NOTIFICATION

The request was noticed in accordance with Section 3.4.3.E of the Unified Development Code.

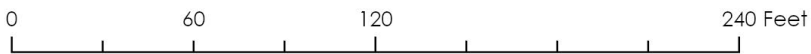
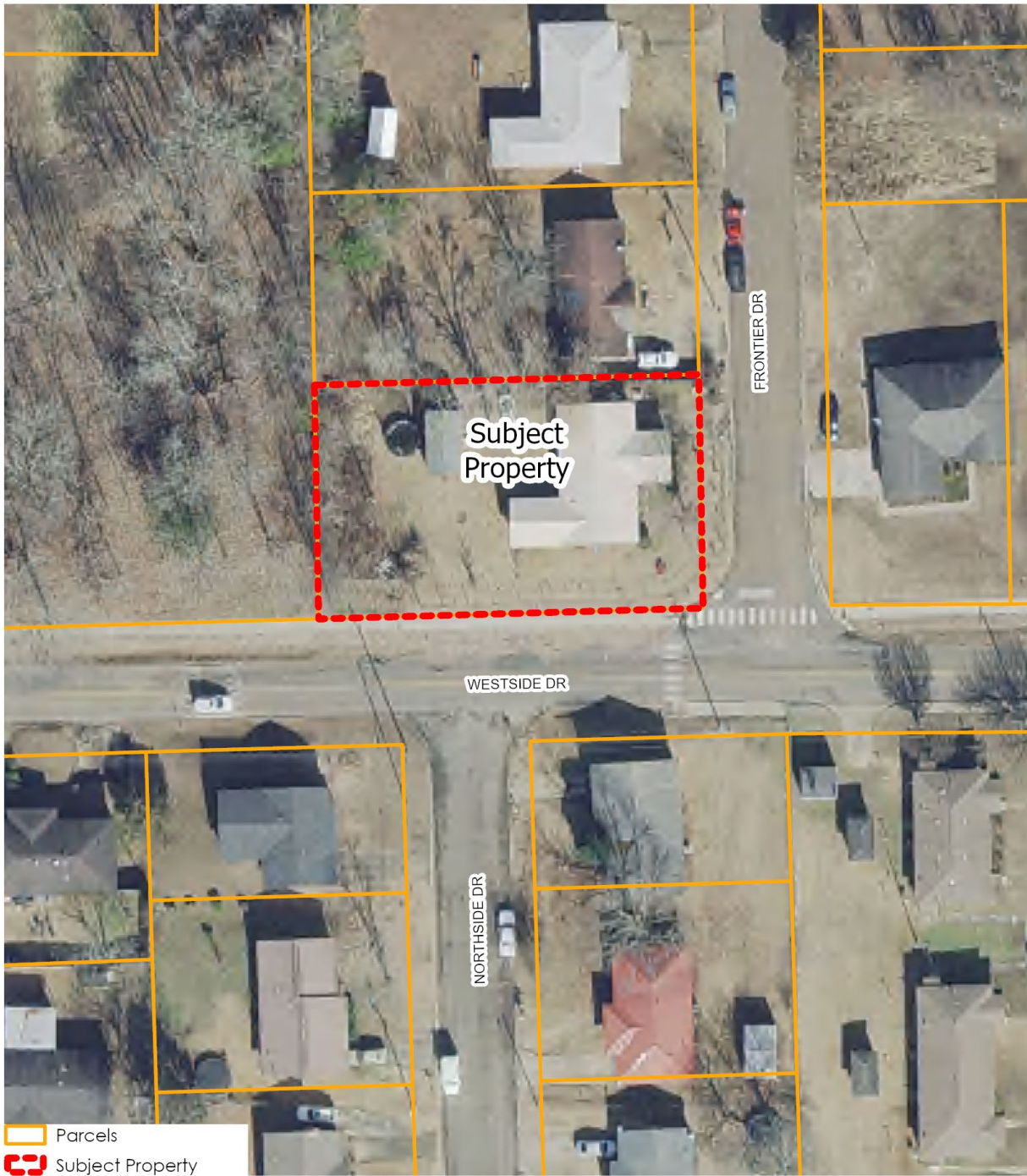
1. 14 property owners of record within 160 feet of the subject property were notified directly by mail of the request.
2. A legal ad was published in the Starkville Daily News on December 21, 2024.
3. A sign was posted on the property in a conspicuous location.

As of this date, the Planning Office has received no response from the notifications.

CONDITIONS OF APPROVAL

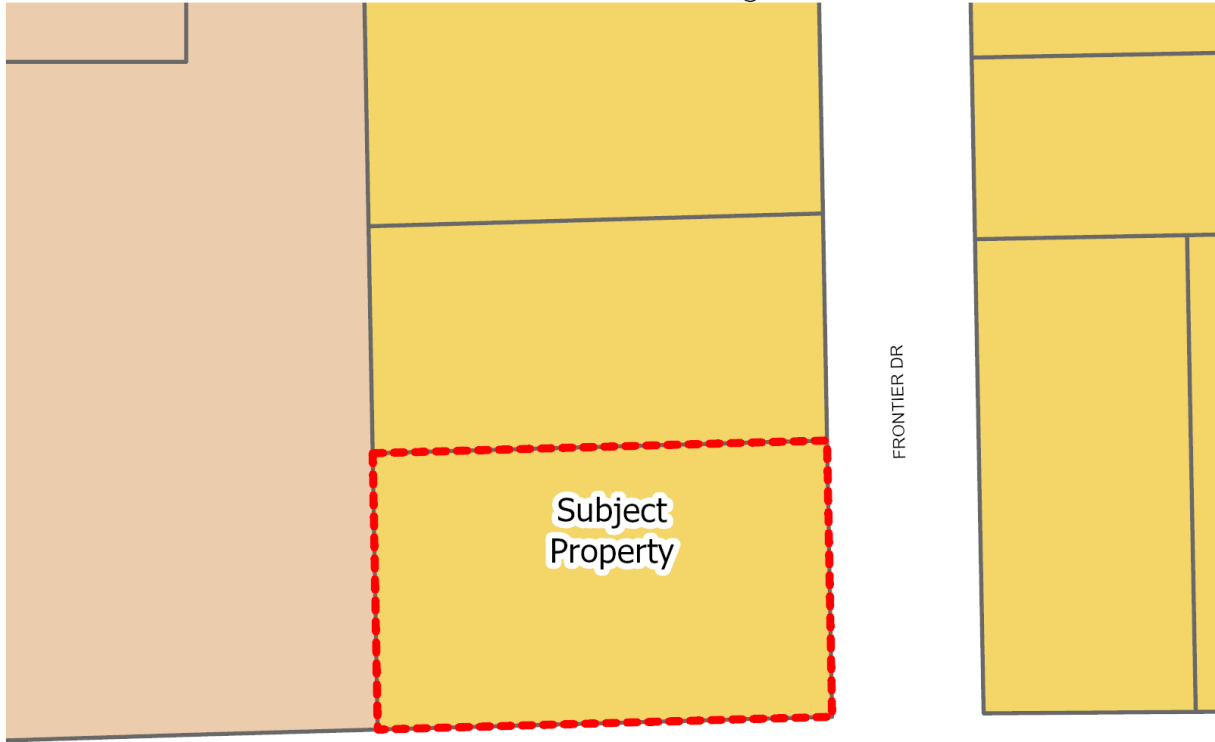
Any condition attached to the approval of a special exception by the Mayor and Board of Aldermen shall run with the land and shall be binding upon the applicants, their heirs, successors, and assigns for the duration of the use of the building, sign, accessory structure, or site (Section 3.4.3.J).

Attachment 1
SE 24-09 Aerial



HISTORIC
STARKVILLE
MISSISSIPPI'S COLLEGE TOWN

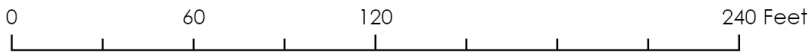
Attachment 2
SE 24-09 Zoning



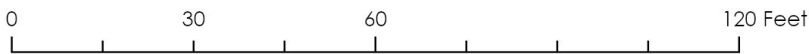
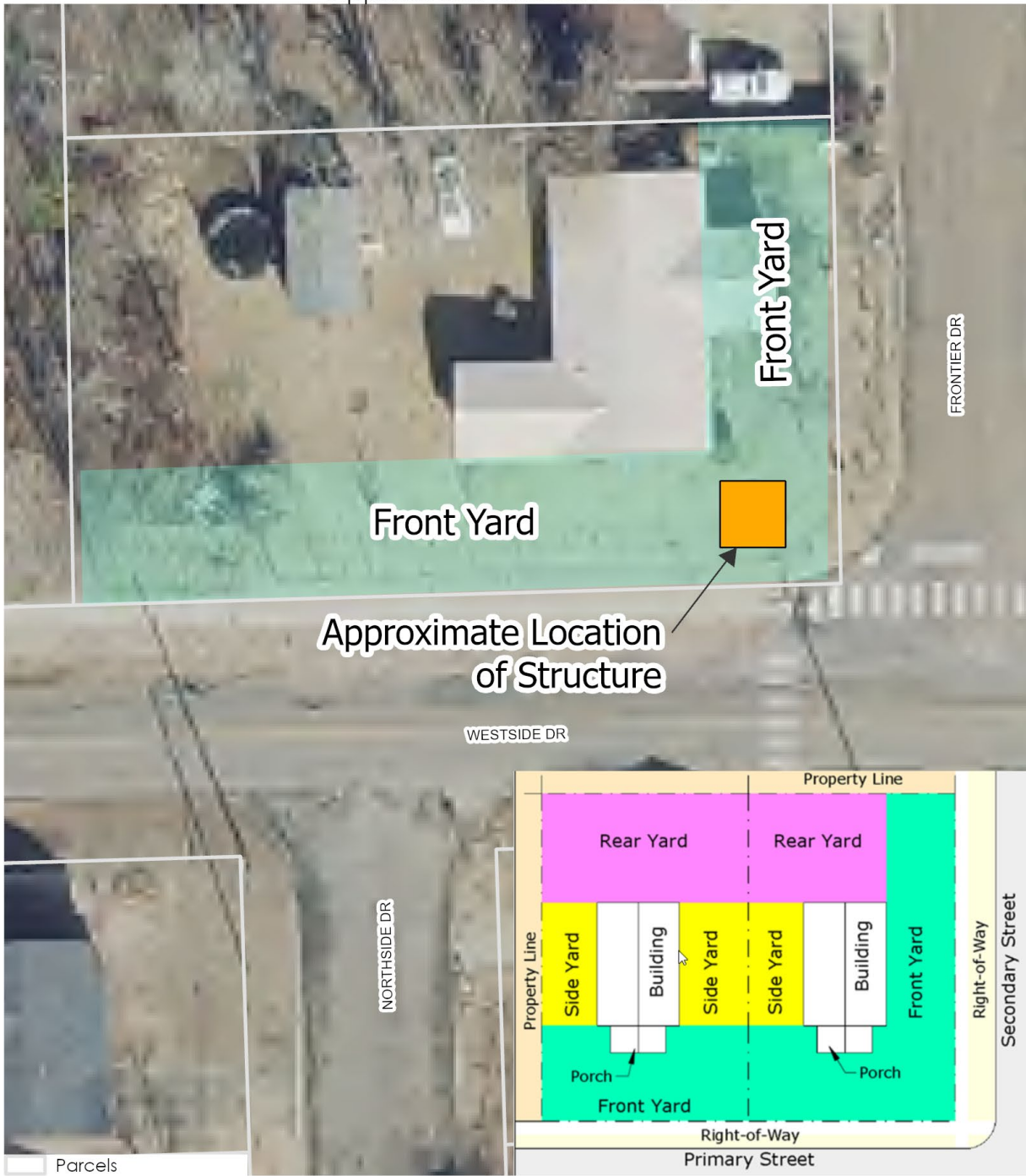
WESTSIDE DR



- Parcels
- TN-E Traditional Neighborhood-Existing
- TN-N Traditional Neighborhood- New
- Subject Property



Attachment 3
Approximate Location of Structure



Attachment 4- Images of the Existing Structure





STAFF REPORT

To: Members of the Planning & Zoning Commission
From: Daniel Havelin, City Planner (662-323-2525 ext. 3136)
Lyle McCaskey, Assistant City Planner (662-323-2525 ext. 3130)
Subject: Public Hearing and consideration of SE 24-10 a request for Special Exception to allow for the placement of an Accessory Dwelling Unit at 309 Central Avenue within a TN-E zoning district
Date: January 14, 2025

The purpose of this report is to provide information regarding a Special Exception request by Sule Ali to allow for the placement of an Accessory Dwelling Unit at 309 Central Avenue within a TN-E zoning district with property #1181-00-051.00. Please see attachments 1- 4.

BACKGROUND INFORMATION

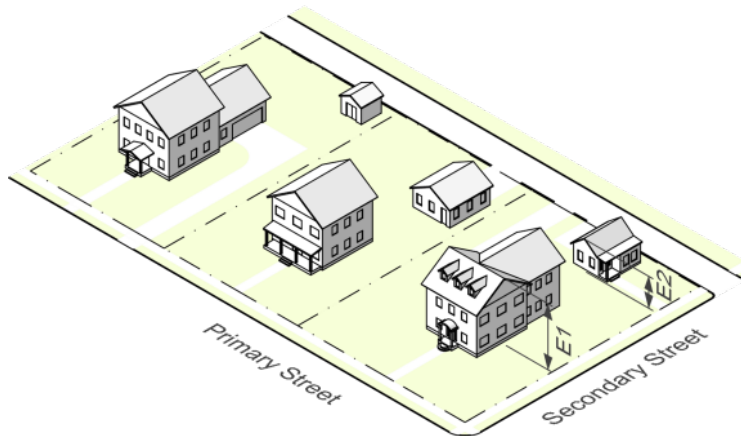
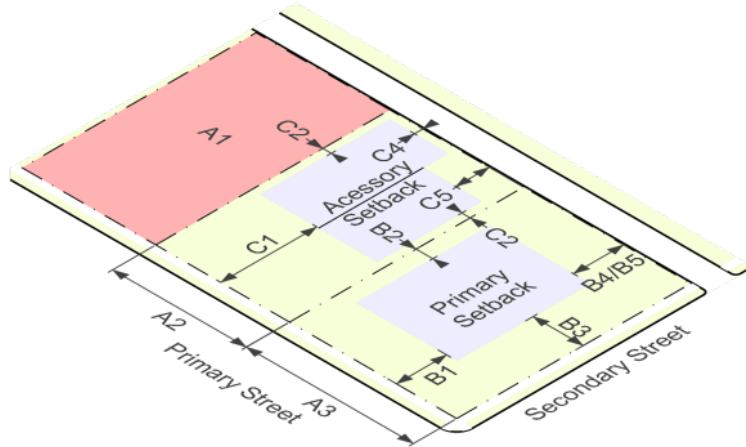
The applicant is seeking a Special Exception to construct a two-bedroom, two-bath accessory dwelling unit in the rear yard. The proposed unit is approximately 530 sqft. The existing primary structure is listed at 1,204 sqft by the Oktibbeha County Tax Assessor. The Use Chart in Section 13.3 of the Unified Development Code requires a Special Exception for "Dwelling, Accessory Unit" in a TN-E zoning district. The proposed use requires constructing a new building and a major modification to an existing site. Therefore, the request will be reviewed as a Special Exception. Section 3.4. of the Unified Development Code also requires that the Special Exception meet the additional standards for that use.

Section 13.5.2 Dwelling, Accessory Unit

- A. Definition:** A residential structure containing one (1) dwelling unit that is auxiliary to the principal dwelling unit(s) on the same lot and that have an independent means of entry into the dwelling unit. This includes, but is not limited to dwelling units in guest houses, pool houses, carriage houses, and garage apartments above or beside a garage. An accessory structure shall be considered an accessory dwelling if it includes all of the following: kitchen area, full bathroom, electricity, and is heated or cooled.
- B. Parking:** One (1) parking space per bedroom for all new construction.
- C. Loading:** Loading/unloading areas accommodating delivery of materials to and from the premises are not permitted or required.
- D. Additional Standards:**
 - 1. An accessory dwelling unit footprint cannot exceed fifty percent (50%) of the footprint of the principal dwelling or six hundred (600) square feet, whichever is less.
 - 2. There can be no more than two (2) bedrooms per accessory dwelling unit and only one (1) accessory dwelling unit per lot.
 - 3. An accessory dwelling unit must be a complete living space with both kitchen and bathroom facilities.
 - 4. No more than two adults may reside in an accessory dwelling unit.

5. The design of the accessory dwelling unit shall be in harmony with the principal dwelling in regards to massing, materials, and location.
6. A home occupation is allowed within an accessory dwelling with proper approvals.
7. See zoning district general provisions for density requirements and other standards.
8. See zoning district base dimensional standards for location, setbacks, and height requirements.

Section 6.3.4. Base Dimensional Standards



Detached and Attached Duplex Dwelling	
A. Lot Dimensions	TN-E
A1 Lot size per unit in sq. ft (min.)	5500
A2 Lot width (min.)	45'
A3 Lot width at corner (min.)	55'
B. Principal Building Setbacks	TN-E
B1 Front setback	15' or see infill standards
B. Principal Building Setbacks (cont.)	TN-E

CRITERIA FOR SPECIAL EXCEPTION REVIEW AND APPROVAL (Section 3.4.1)

1. **Site suitability.** The proposed location of the structure and use has adequate space for development, adequate access to the site, fits contextually with the surrounding area, and has been properly designed for any environmental constraints.
2. **Traffic.** There is no undue nuisance or serious hazard to pedestrian or vehicular traffic in the surrounding area by the proposed structure and use.
3. **Immediate neighborhood impact.** The proposed structure and use is not detrimental, injurious, obnoxious, or offensive to other properties in the neighborhood. Negative impacts can include excessive trip generation, noise, vibration, dust, glare, heat, smoke, fumes, gas, odors, and inappropriate hours of operation.
4. **Availability of public services.** The proposed structure and use is adequately served by sewer, water, electricity, fire protection, police protection, and provides for any stormwater requirements.
5. **Site Plan.** A site plan shall be reviewed by the Development Review Committee prior to review by the Planning and Zoning Commission. This review shall be to determine if elements have been adequately provided on the plan. These elements can include, but are not limited to: parking areas, loading areas, buffers, screening, landscaping, and signage. Additional approval by the Development Review Committee may be required for site plan approval after approval of a special exception.
6. **Impact on property values.** The proposed location of the structure and use will not cause or contribute to a decline in property values of surrounding properties.
7. **Consistency with Comprehensive Plan.** The proposed special exception is consistent with the goals, objectives, and policies of the Comprehensive Plan.
8. **Additional Standards.** All associated additional standards for the proposed building, sign, accessory structure, or site associated with the use have been adequately provided for on the site plan.

ABANDONMENT OR DISCONTINUANCE (Section 3.4.3.K)

Any built structure or site associated with an approved special exception may continue with the associated use unless the use is made a nonconformity by any subsequent zoning ordinance and/or action by the Board of Aldermen. All nonconformities shall be regulated in accordance with section 3.17. If a specific time is not set as part of the approval of a special exception, the special exception shall expire within 18 months if no building permit has been issued and/or construction activities have ceased on the site. A special exception for any sign type shall expire upon the abandonment or discontinuance of the use or business. Reapplication for a special exception for sign will be required.

NOTIFICATION

The request was noticed in accordance with Section 3.4.3.E of the Unified Development Code.

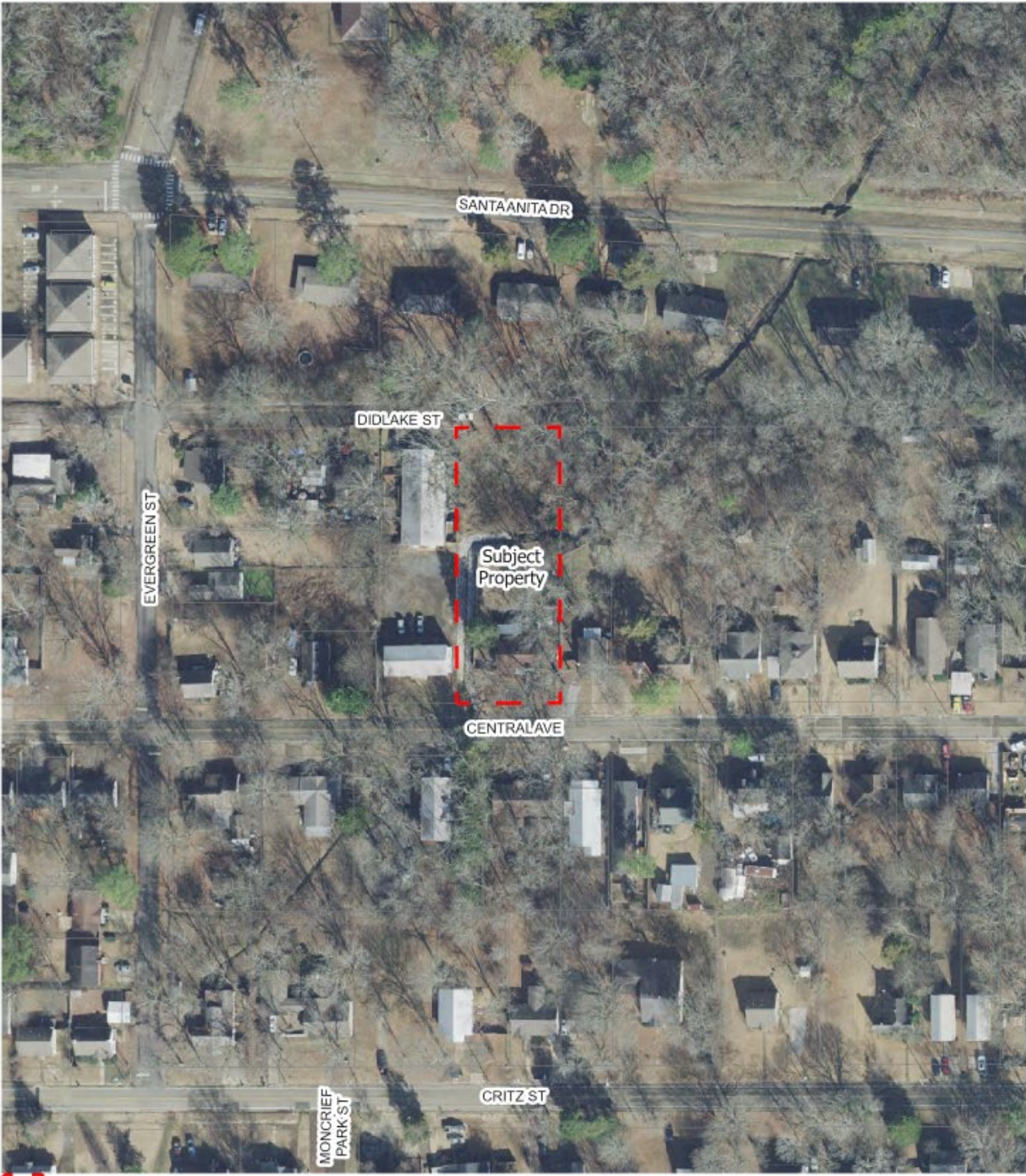
1. 21 property owners of record within 160 feet of the subject property were notified directly by mail of the request.
2. A legal ad was published in the Starkville Daily News on December 21, 2024.
3. A sign was posted on the property in a conspicuous location.


As of this date, the Planning Office has received one phone call against the request.

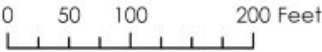
CONDITIONS OF APPROVAL

Any condition attached to the approval of a special exception by the Mayor and Board of Aldermen shall run with the land and shall be binding upon the applicants, their heirs, successors, and assigns for the duration of the use of the building, sign, accessory structure, or site (Section 3.4.3.J).

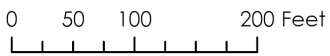
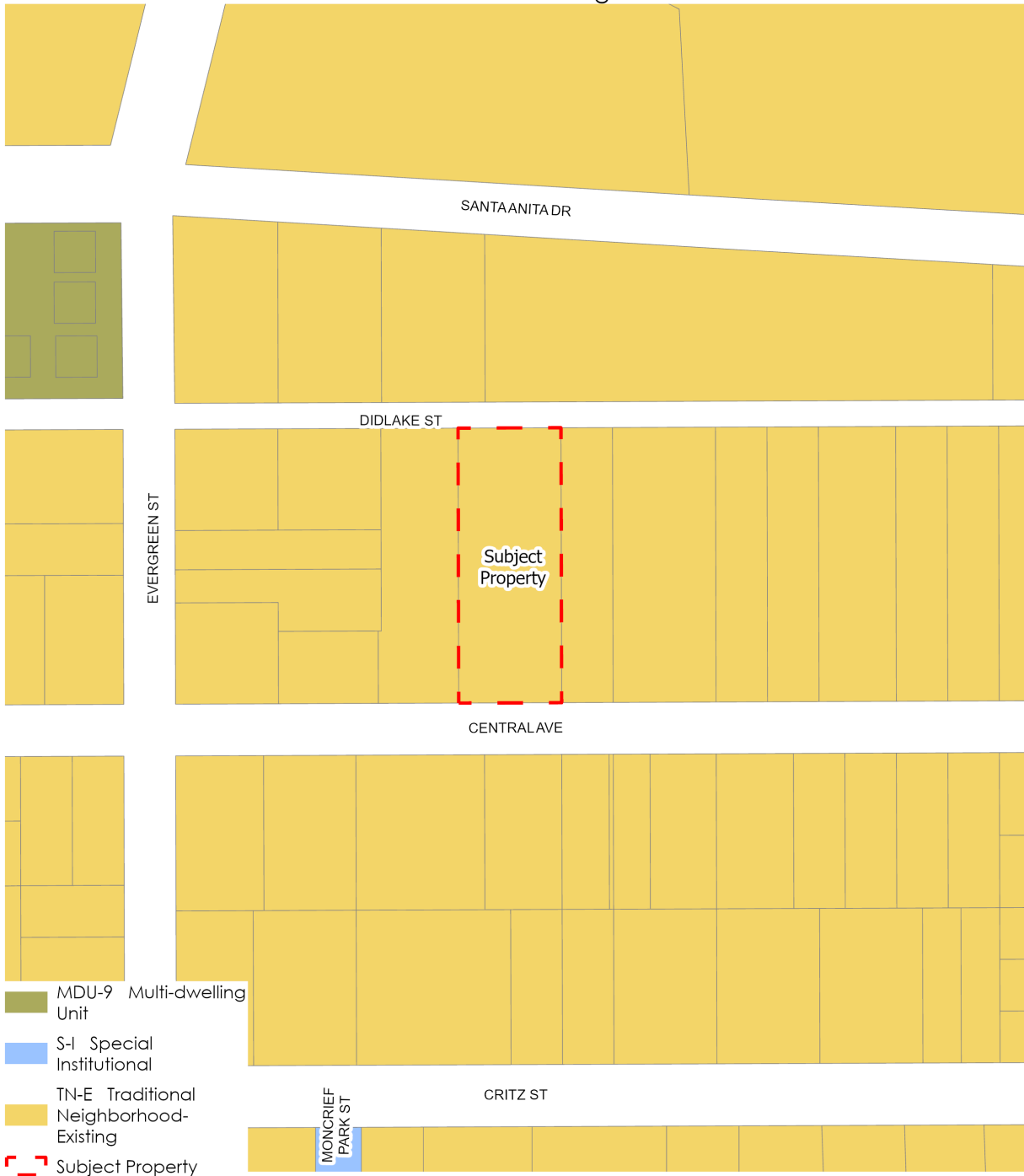
Attachment 1
SE 24-10 Aerial



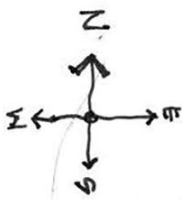
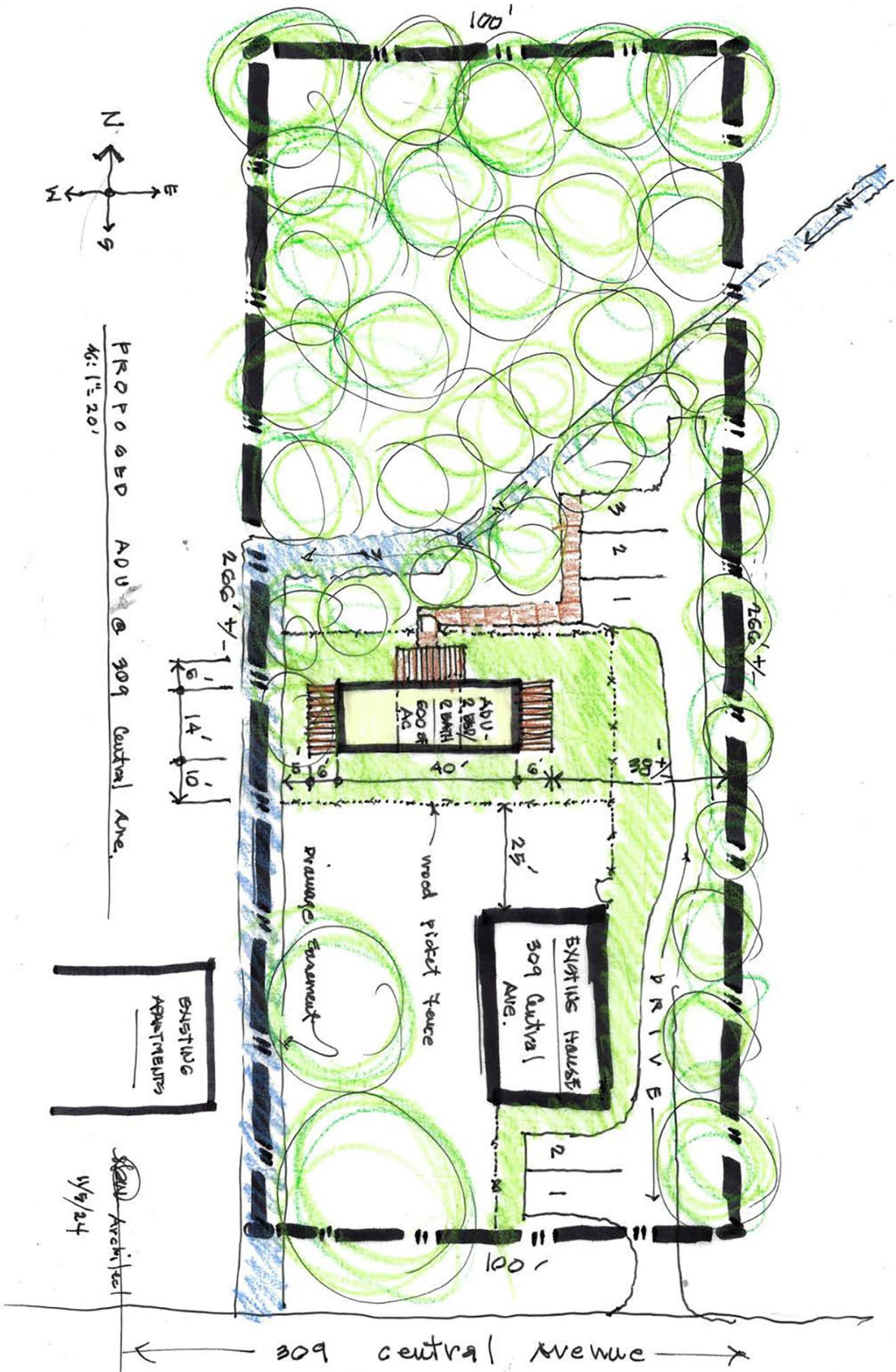
 Subject Property



Attachment 2
SE 24-10 Zoning



Attachment 3- Site Plan



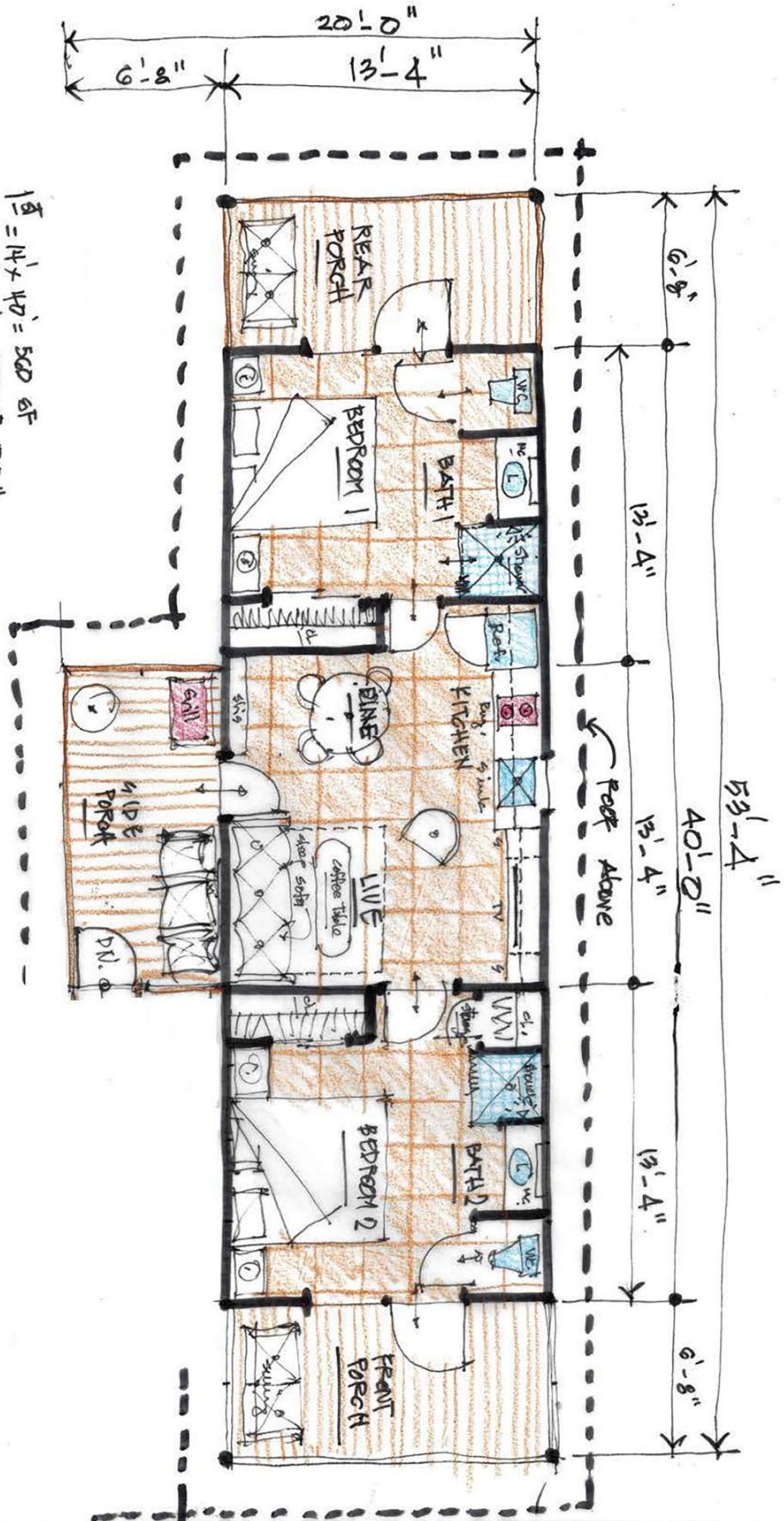
PROPOSED ADU @ 309 Central Ave.
AS: 1" = 20'

EXISTING APARTMENTS

RAN Architect
1/9/24

309 Central Avenue

Attachment 4- Floor Plan



FLOOR PLAN

NO: 1/4" = 1'-0"

Arch - copyright protected

FH

FH



THE CITY OF STARKVILLE
PLANNING DEPARTMENT
PLANNING AND ZONING COMMISSION
CITY HALL, 110 WEST MAIN STREET
STARKVILLE, MISSISSIPPI 39759

STAFF REPORT

To: Members of the Planning & Zoning Commission
From: Daniel Havelin, City Planner (662-323-2525 ext. 3136)
Lyle McCaskey, Assistant City Planner (662-323-2525 ext. 3130)
Subject: Public Hearing and consideration of SE 24-11 a request for Special Exception to allow for the placement of an Accessory Dwelling Unit at 524 Greensboro Street within a TN-E zoning district
Date: January 14, 2025

The purpose of this report is to provide information regarding a Special Exception request by Carey Pennebaker to allow for the placement of an Accessory Dwelling Unit at 524 Greensboro Street within a TN-E zoning district with property #118N-00-016.00 and 118O-00-266.00. Please see attachments 1- 4.

BACKGROUND INFORMATION

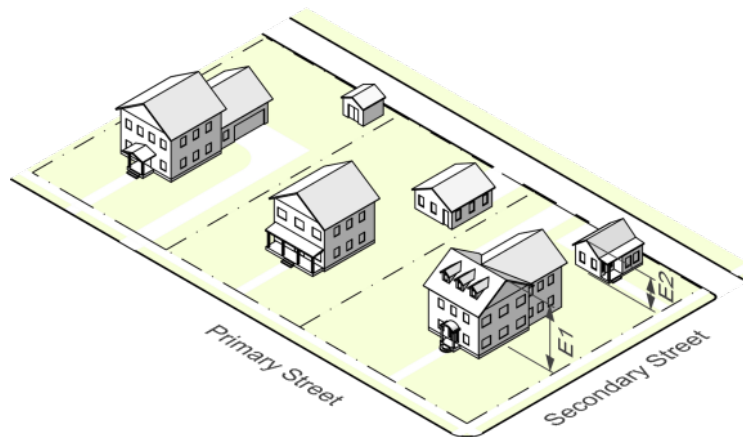
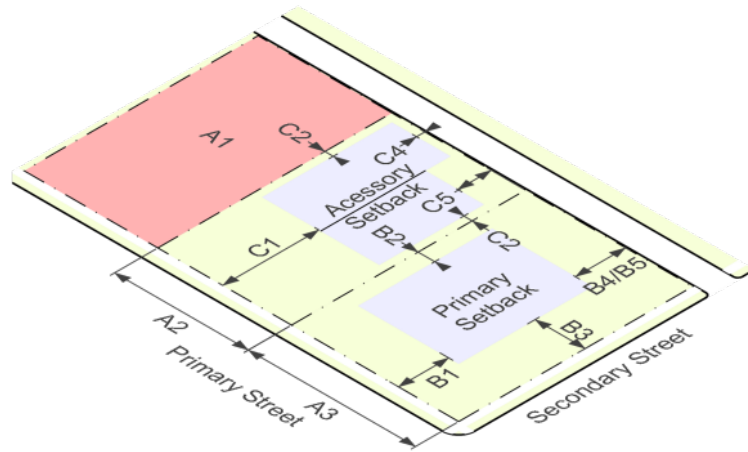
The applicant is seeking a Special Exception to construct a one-bedroom, one-bath accessory dwelling unit in the rear yard over a proposed shop building. The proposed accessory dwelling unit is approximately 420 sqft. The proposed shop is approximately 625 sqft. The existing primary structure is approximately 3,700 sqft. The Use Chart in Section 13.3 of the Unified Development Code requires a Special Exception for "Dwelling, Accessory Unit" in a TN-E zoning district. This structure and the proposed attached garage received a Certificate of Appropriateness approval from the Board of Aldermen on December 17, 2024. The proposed use requires constructing a new building and a major modification to an existing site. Therefore, the request will be reviewed as a Special Exception. Section 3.4. of the Unified Development Code also requires that the Special Exception meet the additional standards for that use.

Section 13.5.2 Dwelling, Accessory Unit

- A. Definition:** A residential structure containing one (1) dwelling unit that is auxiliary to the principal dwelling unit(s) on the same lot and that have an independent means of entry into the dwelling unit. This includes, but is not limited to dwelling units in guest houses, pool houses, carriage houses, and garage apartments above or beside a garage. An accessory structure shall be considered an accessory dwelling if it includes all of the following: kitchen area, full bathroom, electricity, and is heated or cooled.
- B. Parking:** One (1) parking space per bedroom for all new construction.
- C. Loading:** Loading/unloading areas accommodating delivery of materials to and from the premises are not permitted or required.
- D. Additional Standards:**
 - 1. An accessory dwelling unit footprint cannot exceed fifty percent (50%) of the footprint of the principal dwelling or six hundred (600) square feet, whichever is less.

2. There can be no more than two (2) bedrooms per accessory dwelling unit and only one (1) accessory dwelling unit per lot.
3. An accessory dwelling unit must be a complete living space with both kitchen and bathroom facilities.
4. No more than two adults may reside in an accessory dwelling unit.
5. The design of the accessory dwelling unit shall be in harmony with the principal dwelling in regards to massing, materials, and location.
6. A home occupation is allowed within an accessory dwelling with proper approvals.
7. See zoning district general provisions for density requirements and other standards.
8. See zoning district base dimensional standards for location, setbacks, and height requirements.

Section 6.3.4. Base Dimensional Standards



Detached and Attached Duplex Dwelling	
A. Lot Dimensions	TN-E
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B. Principal Building Setbacks	TN-E
B1 Front setback	15' or see infill standards
B. Principal Building Setbacks (cont.)	TN-E

CRITERIA FOR SPECIAL EXCEPTION REVIEW AND APPROVAL (Section 3.4.1)

1. **Site suitability.** The proposed location of the structure and use has adequate space for development, adequate access to the site, fits contextually with the surrounding area, and has been properly designed for any environmental constraints.
2. **Traffic.** There is no undue nuisance or serious hazard to pedestrian or vehicular traffic in the surrounding area by the proposed structure and use.
3. **Immediate neighborhood impact.** The proposed structure and use is not detrimental, injurious, obnoxious, or offensive to other properties in the neighborhood. Negative impacts can include excessive trip generation, noise, vibration, dust, glare, heat, smoke, fumes, gas, odors, and inappropriate hours of operation.
4. **Availability of public services.** The proposed structure and use is adequately served by sewer, water, electricity, fire protection, police protection, and provides for any stormwater requirements.
5. **Site Plan.** A site plan shall be reviewed by the Development Review Committee prior to review by the Planning and Zoning Commission. This review shall be to determine if elements have been adequately provided on the plan. These elements can include, but are not limited to: parking areas, loading areas, buffers, screening, landscaping, and signage. Additional approval by the Development Review Committee may be required for site plan approval after approval of a special exception.
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7. **Consistency with Comprehensive Plan.** The proposed special exception is consistent with the goals, objectives, and policies of the Comprehensive Plan.
8. **Additional Standards.** All associated additional standards for the proposed building, sign, accessory structure, or site associated with the use have been adequately provided for on the site plan.

ABANDONMENT OR DISCONTINUANCE (Section 3.4.3.K)

Any built structure or site associated with an approved special exception may continue with the associated use unless the use is made a nonconformity by any subsequent zoning ordinance and/or action by the Board of Aldermen. All nonconformities shall be regulated in accordance with section 3.17. If a specific time is not set as part of the approval of a special exception, the special exception shall expire within 18 months if no building permit has been issued and/or construction activities have ceased on the site. A special exception for any sign type shall expire upon the abandonment or discontinuance of the use or business. Reapplication for a special exception for sign will be required.

NOTIFICATION

The request was noticed in accordance with Section 3.4.3.E of the Unified Development Code.

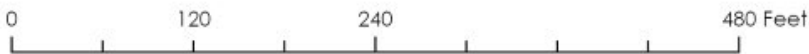
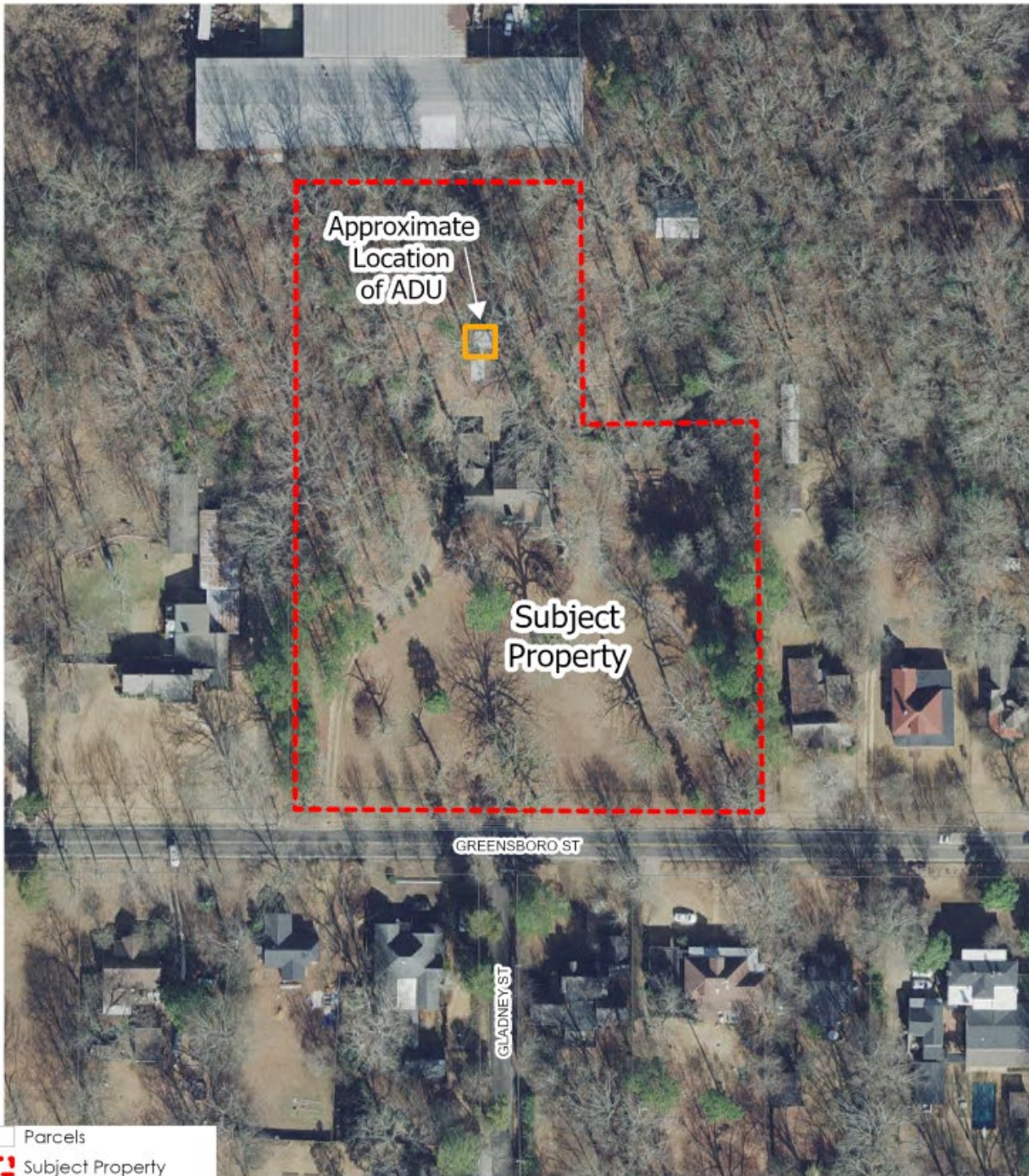
1. 12 property owners of record within 160 feet of the subject property were notified directly by mail of the request.
2. A legal ad was published in the Starkville Daily News on December 21, 2024.
3. A sign was posted on the property in a conspicuous location.

As of this date, the Planning Office has received one email in favor of the request.

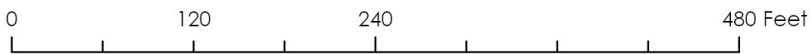
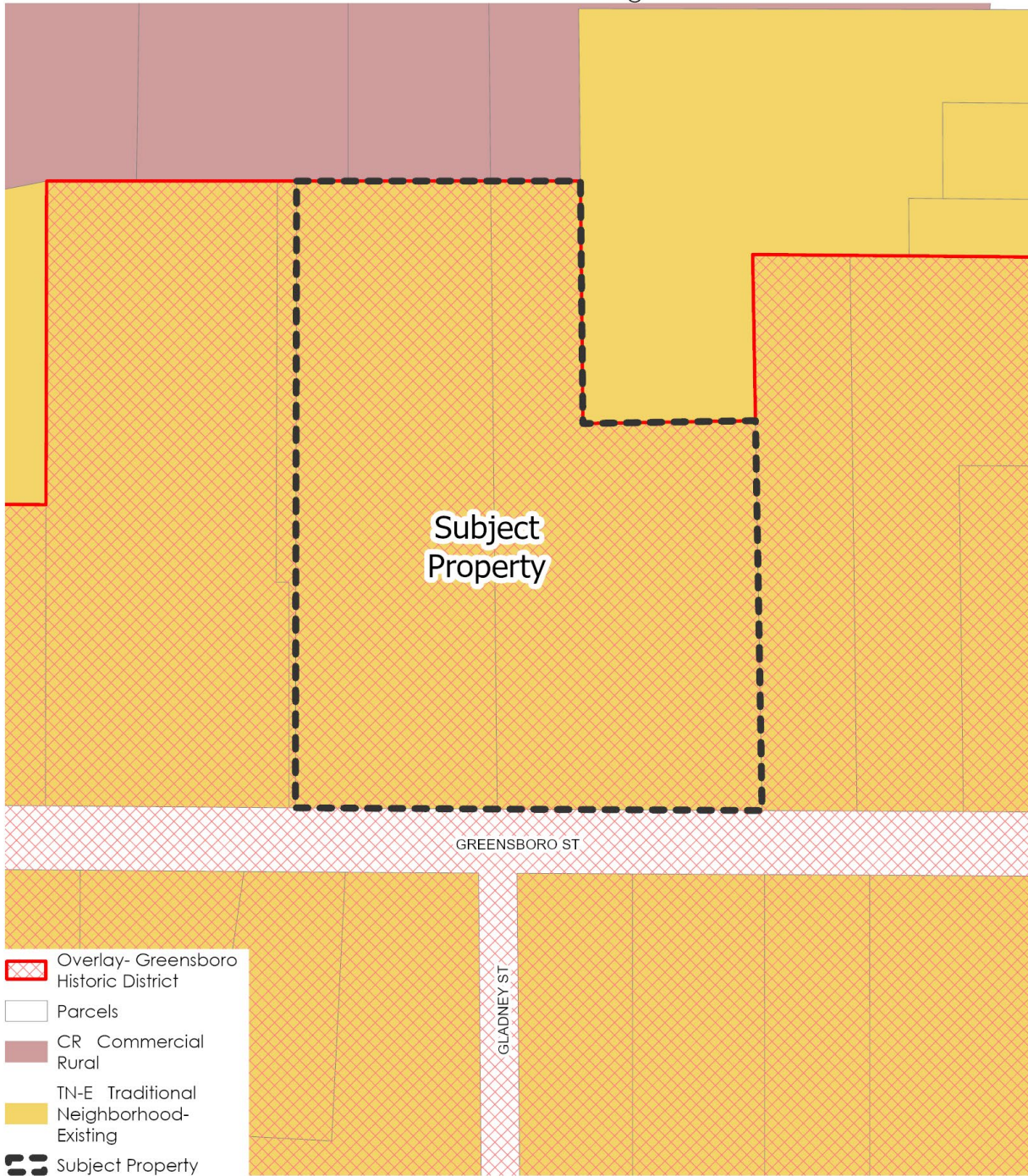
CONDITIONS OF APPROVAL

Any condition attached to the approval of a special exception by the Mayor and Board of Aldermen shall run with the land and shall be binding upon the applicants, their heirs, successors, and assigns for the duration of the use of the building, sign, accessory structure, or site (Section 3.4.3.J).

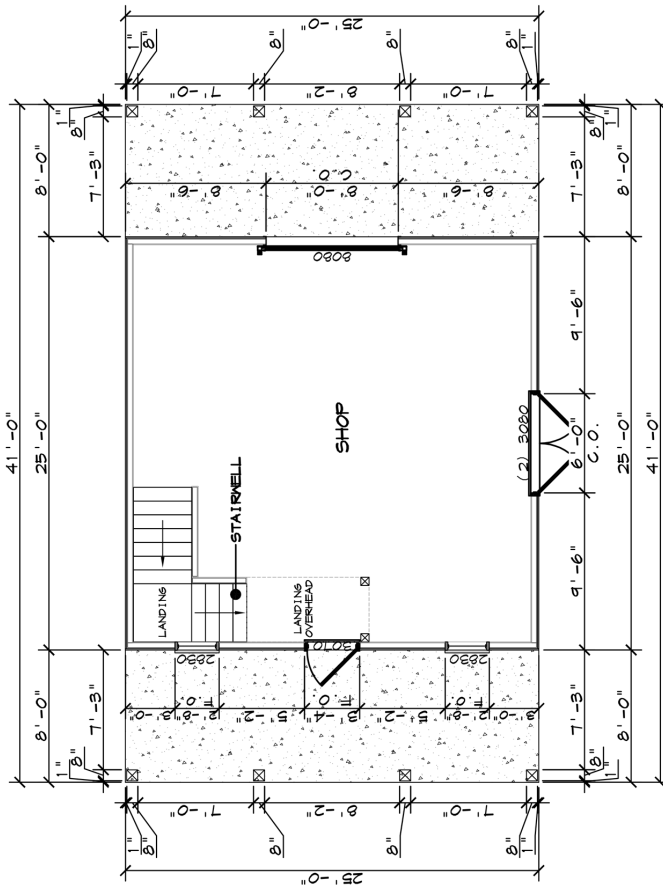
Attachment 1
SE 24-11 Aerial



Attachment 2
SE 24-11 Zoning

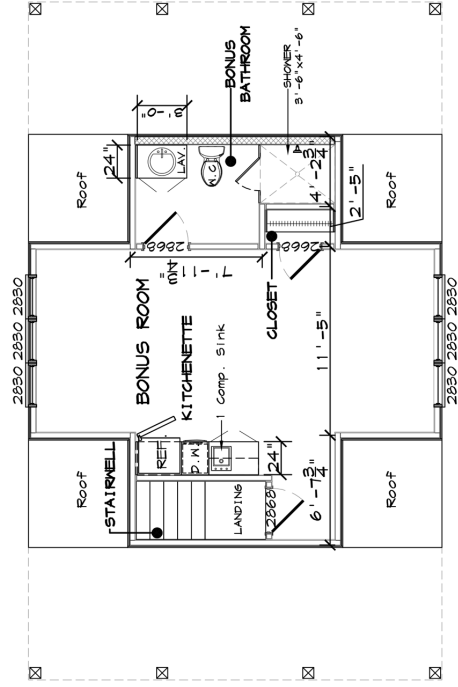


Attachment 3- Floor Plan



(1ST FLOOR)
PROPOSED SHED PLAN

SCALE: 3/16" = 1'-0"



(2ND FLOOR)
PROPOSED SHED PLAN

SCALE: 3/16" = 1'-0"

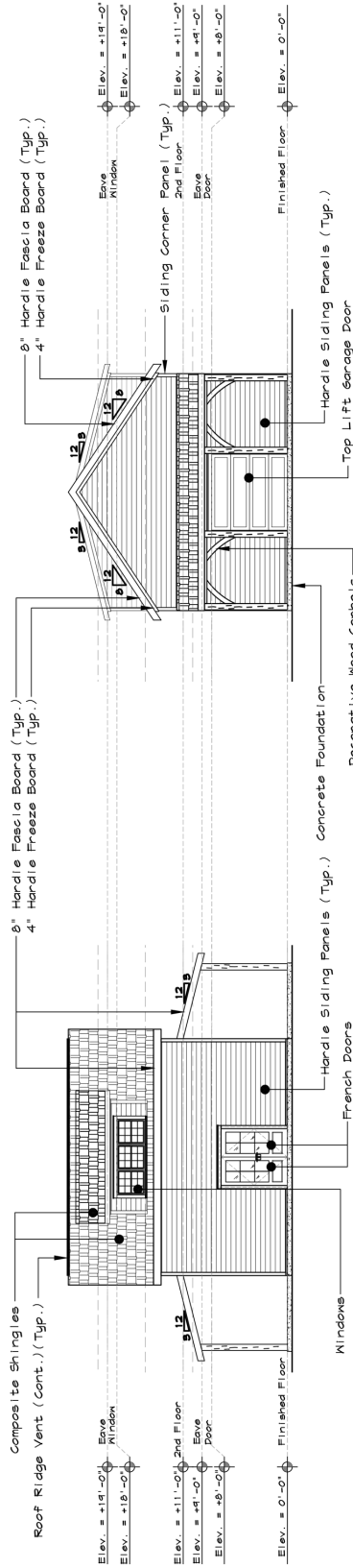
2

3

1

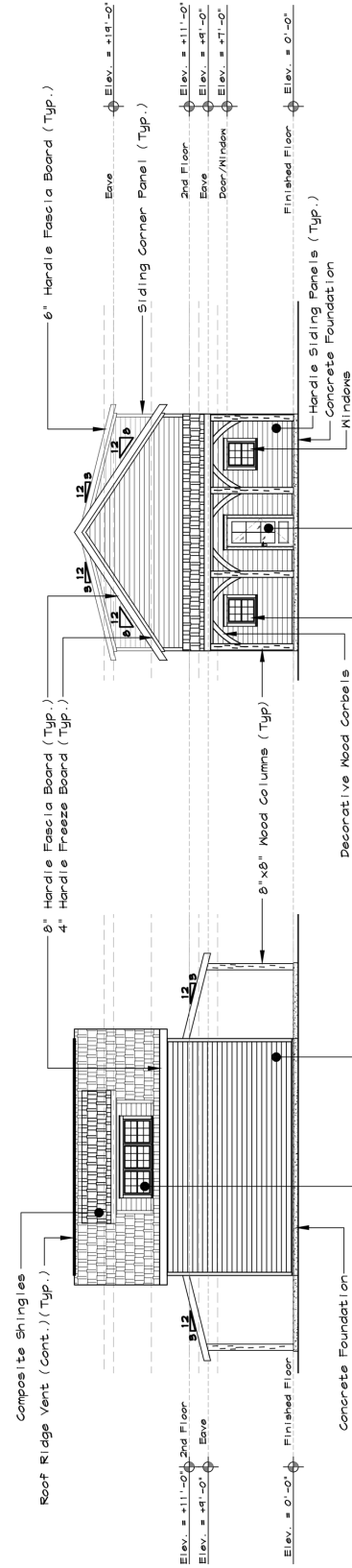
3

Attachment 4- Elevations



3 | (EAST) FRONT FACE ELEVATION 4 | (NORTH) SIDE FACE ELEVATION

3 SCALE: 1/8" = 1'-0"



5 | (WEST) REAR FACE ELEVATION 6 | (SOUTH) SIDE FACE ELEVATION

3 SCALE: 1/8" = 1'-0"

STAFF REPORT

To: Members of the Planning & Zoning Commission
From: Daniel Havelin, City Planner (662-323-2525 ext. 3136)
 Lyle McCaskey, Assistant City Planner (662-323-2525 ext. 3130)
Subject: Public Hearing and consideration of SE 24-12 a request for Special Exception to allow for a 4th floor located at 518 University Drive within a T5-U zoning district
Date: January 14, 2025

The purpose of this report is to provide information regarding a Special Exception request by Scott Williams on behalf of Brian Roundtree to allow for a 4th floor located at 518 University Drive within a T5-U zoning district with property #117M-00-184.00, 117M-00-185.00, 101D-00-035.00, 101D-00-034.00, and 101D-00-034.01. Please see attachments 1- 4.

BACKGROUND INFORMATION

The applicant is seeking a Special Exception to allow for a 4th floor on a proposed building on the southeast corner of University Drive and Jarnigan Street (labeled "Bldg A" on attachment 3). The Unified Development Code allows for 3 ½ floors by right and a 4th floor with Special Exception approval. The proposed building is mixed use with two commercial units on the first floor and eleven residential units on the upper floors. Proposed building B is only two floors of residential use only. The site plan is currently under review by the Development Review Committee. The building design has received Architecture Approval.

Section 5.2 Base Dimensional Standards

Form-Based Districts	
F. Height	T-5U
F1. Principal building in stories	3 1/2, 4 (■)
F2. Secondary building in stories	3 1/2, 4 (■)
F3. Accessory dwelling unit in stories	2
F4. Accessory structures in stories	1
■ =by Special Exception, -- = prohibited	

CRITERIA FOR SPECIAL EXCEPTION REVIEW AND APPROVAL (Section 3.4.1)

1. **Site suitability.** The proposed location of the structure and use has adequate space for development, adequate access to the site, fits contextually with the surrounding area, and has been properly designed for any environmental constraints.
2. **Traffic.** There is no undue nuisance or serious hazard to pedestrian or vehicular traffic in the surrounding area by the proposed structure and use.
3. **Immediate neighborhood impact.** The proposed structure and use is not detrimental, injurious, obnoxious, or offensive to other properties in the neighborhood. Negative

impacts can include excessive trip generation, noise, vibration, dust, glare, heat, smoke, fumes, gas, odors, and inappropriate hours of operation.

4. **Availability of public services.** The proposed structure and use is adequately served by sewer, water, electricity, fire protection, police protection, and provides for any stormwater requirements.
5. **Site Plan.** A site plan shall be reviewed by the Development Review Committee prior to review by the Planning and Zoning Commission. This review shall be to determine if elements have been adequately provided on the plan. These elements can include, but are not limited to: parking areas, loading areas, buffers, screening, landscaping, and signage. Additional approval by the Development Review Committee may be required for site plan approval after approval of a special exception.
6. **Impact on property values.** The proposed location of the structure and use will not cause or contribute to a decline in property values of surrounding properties.
7. **Consistency with Comprehensive Plan.** The proposed special exception is consistent with the goals, objectives, and policies of the Comprehensive Plan.
8. **Additional Standards.** All associated additional standards for the proposed building, sign, accessory structure, or site associated with the use have been adequately provided for on the site plan.

ADDITIONAL CRITERIA FOR SPECIAL EXCEPTION REVIEW AND APPROVAL IN FORM-BASED DISTRICTS (Section 3.4.2)

- A. The special exception request shall be consistent with the intent of the form-based districts.

ABANDONMENT OR DISCONTINUANCE (Section 3.4.3.K)

Any built structure or site associated with an approved special exception may continue with the associated use unless the use is made a nonconformity by any subsequent zoning ordinance and/or action by the Board of Aldermen. All nonconformities shall be regulated in accordance with section 3.17. If a specific time is not set as part of the approval of a special exception, the special exception shall expire within 18 months if no building permit has been issued and/or construction activities have ceased on the site. A special exception for any sign type shall expire upon the abandonment or discontinuance of the use or business. Reapplication for a special exception for sign will be required.

NOTIFICATION

The request was noticed in accordance with Section 3.4.3.E of the Unified Development Code.

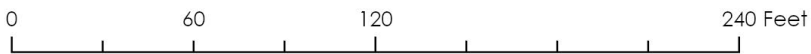
1. 12 property owners of record within 160 feet of the subject property were notified directly by mail of the request.
2. A legal ad was published in the Starkville Daily News on December 21, 2024.
3. A sign was posted on the property in a conspicuous location.

As of this date, the Planning Office has received no response from the request.

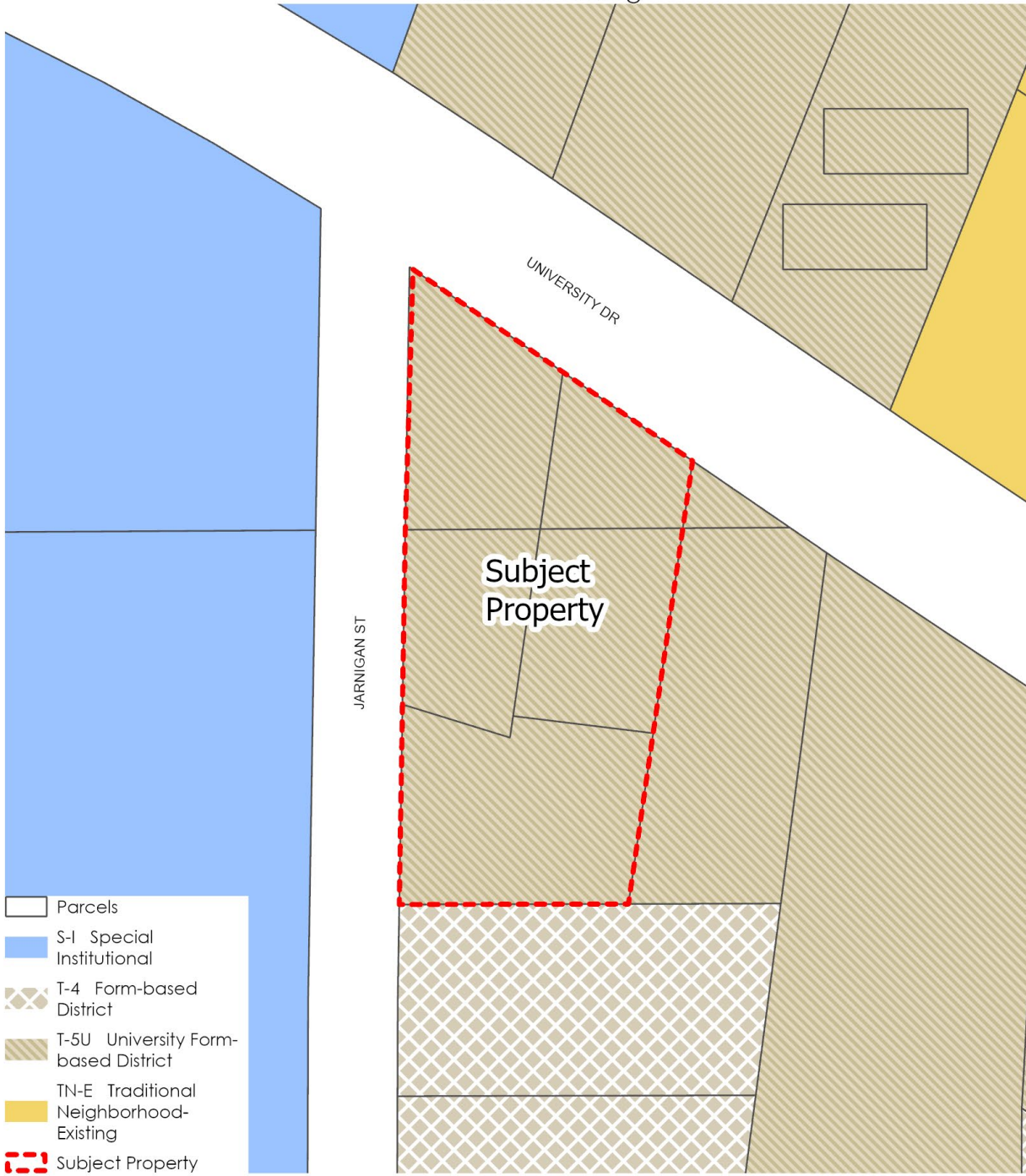
CONDITIONS OF APPROVAL

Any condition attached to the approval of a special exception by the Mayor and Board of Aldermen shall run with the land and shall be binding upon the applicants, their heirs, successors, and assigns for the duration of the use of the building, sign, accessory structure, or site (Section 3.4.3.J).

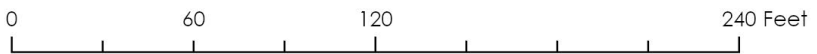
Attachment 1
SE 24-12 Aerial



Attachment 2
SE 24-12 Zoning



- Parcels
- S-I Special Institutional
- T-4 Form-based District
- T-5U University Form-based District
- TN-E Traditional Neighborhood-Existing
- Subject Property



Attachment 3
SE 24-12 Project Overlay



Attachment 4- Proposed Building

ORGANIZATION NAME
CHARLESTON ON UNIVERSITY
 5714/F112/12 4605020944

PROJECT NO:
 23-035
 DATE:
 04/15/23
 DRAWING:
 EXTERIOR

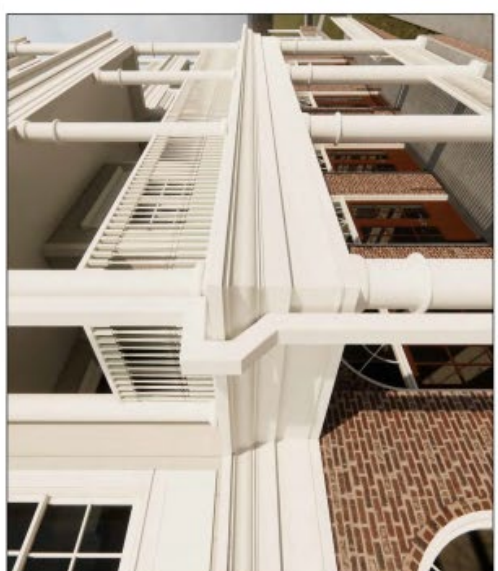
SCALE:
A001

DUNAWAY WILLIAMS ARCHITECTS
 101 N. STATE STREET, SUITE 100
 CHARLESTON, SC 29401
 803.733.1111

NOTE: RENDERINGS ARE FOR REFERENCE ONLY.

EXTERIOR MATERIAL LEGEND

	ROOF		CONCRETE/CLAY TILE		EXTERIOR WALL PANEL		EXTERIOR WALL PANEL
	CONCRETE/CLAY TILE		CONCRETE/CLAY TILE		CONCRETE/CLAY TILE		CONCRETE/CLAY TILE
	CONCRETE/CLAY TILE		CONCRETE/CLAY TILE		CONCRETE/CLAY TILE		CONCRETE/CLAY TILE
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	CONCRETE/CLAY TILE		CONCRETE/CLAY TILE		CONCRETE/CLAY TILE		CONCRETE/CLAY TILE



SECTION 1 - PORTICO/CLAY TILE

SECTION 2 - PORTICO

SECTION 3 - CLAY TILE/CLAY TILE

SECTION 4 - PORTICO

STAFF REPORT

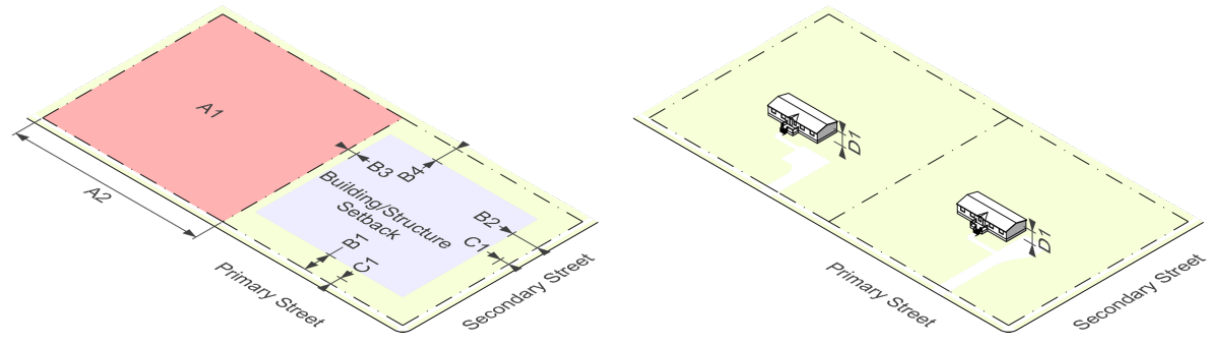
To: Members of the Planning & Zoning Commission
From: Daniel Havelin, City Planner (662-323-2525 ext. 3136)
 Lyle McCaskey, Assistant City Planner (662-323-2525 ext. 3130)
Subject: Public Hearing and consideration of SE 24-13 a request for Special Exception to allow for the placement of a manufactured home on a vacant lot located at 1560 Louisville Street in an RN zoning district.
Date: January 14, 2025

The purpose of this report is to provide information regarding a request for Special Exception by Andria Shumaker, on behalf of Starkville Oktibbeha School District, to allow for the placement of a manufactured home on a vacant lot located 1560 Louisville Street in an RN zoning district with the property #105-16-009.00. Please see attachments 1- 5.

BACKGROUND INFORMATION

The applicant is seeking a Special Exception to allow for the placement of a manufactured home on a vacant lot. The lot fronts Louisville Street and is located on 16th Section land owned by the Starkville Oktibbeha School District. Attachment 3 is a map created by the Planning Department based on information provided by Mike Ainsworth on behalf of the school district in the spring on 2020. This map shows the proposed leasing areas along Sand Road. The area labeled "Area A" on the map, was denied a Special Exception in September of 2020 by the Planning and Zoning Commission due to the lot being located along Louisville Street (see excerpt from minutes on attachment 4 and 5). The applicant did not appeal the decision to the Board the Aldermen. The Use Chart in Section 13.3 of the Unified Development Code requires a Use Exception or a Special Exception for "Dwelling, Manufactured and Modular Home" in an RN zoning district. Section 3.5.1.F of the Unified Development Code also requires that the Special Exception meet the additional standards for that use.

6.3.4 Base Dimensional Standards (RN: Manufactured and Modular Home)



A. Lot Dimensions	
A1. Lot size per unit (min)	40000 sq. ft.
A2. Lot width	100'
B. Building/Structure Setbacks	
B1. Front setback	30'
B2. Side setback corner lot	30'
B3. Side setback	10'
B4. Rear setback	25'
C. Parking Setbacks	
C1. From primary street	10'
D. Height	
D1. Principal building(s) (max)	1 story

13.5.8 Dwelling, Manufactured And Modular Home

A. Definition:

1. **Manufactured home-** A factory-built single-unit structure that is manufactured under the authority of 42 U.S.C., Sec. 5401, the National Federal Manufactured Home Construction and Safety Standards Act, is transportable in two (2) or more sections, is built on a permanent chassis, and is used as a place of human habitation; but which is not constructed with a permanent non-removable hitch or other device allowing transport of the unit other than for the purpose of delivery to a permanent site, and which does not have non-removable wheels or hitch-axles, permanently attached to its body or frame. Manufactured homes shall not include travel trailers, camper trailers, campers, self-contained motor homes, or camper buses. A mobile home shall be defined as a residential dwelling that was fabricated in an off-site manufacturing facility, designed to be a permanent residence, and built prior to enactment of the Federal Manufactured Home Construction and Safety Standards. Mobile homes shall not be placed or moved to another lot within the city limits of Starkville. Manufactured homes with more than one (1) unit within one (1) structure are not permitted in any zoning district.
2. **Modular home-** A dwelling built and delivered to a site in two (2) or more sections, meeting City's current adopted building codes when connected to the required utilities.

B. Parking:

1. One (1) parking space per bedroom for all newly placed manufactured or modular home.
2. See zoning district base dimensional standards for parking location and setback requirements.

C. Loading: Loading/unloading areas accommodating delivery of materials to and from the premises are not permitted or required.

D. Additional Standards:

1. Homes shall be anchored according to International Building Code requirements.
2. Homes shall bear the FMHCCS Label or Seal of Compliance.
3. Homes shall have horizontal siding. At a minimum, the exterior siding shall consist predominantly of vinyl or aluminum lap siding whose reflectivity does not exceed that of flat white paint, wood or hardboard, comparable in

composition, appearance, and durability to the exterior siding commonly used in standard residential construction.

4. Homes shall have a minimum of a 3/12 roof pitch with asphalt shingles.
5. All homes shall be placed on the lot in harmony with the existing site-built structures. Where no neighboring structures are available for comparison, it shall be sited with the front running parallel to the street providing access to the site.
6. The towing tongue, wheels, and hitch-axle shall be removed upon final placement of the unit.
7. All manufactured homes shall be placed on permanent masonry foundations with appropriate screening of the foundations. The foundation shall not be visible from the street or adjacent properties.
8. All manufactured homes shall have either a deck or porch with steps at each entrance constructed and installed in accordance with the standards set forth by the International Building Code. The minimum square footage of the floor of such porch or deck shall measure at least thirty-six (36) square feet.
9. No manufactured and modular home more than ten (10) years old may be relocated or moved onto any lot within the city limits of Starkville.
10. See zoning district general provisions for density requirements and other standards.
11. See zoning district base dimensional standards for location, setback, and height requirements.

CRITERIA FOR SPECIAL EXCEPTION REVIEW AND APPROVAL (Section 3.4.1)

1. **Site suitability.** The proposed location of the structure and use has adequate space for development, adequate access to the site, fits contextually with the surrounding area, and has been properly designed for any environmental constraints.
2. **Traffic.** There is no undue nuisance or serious hazard to pedestrian or vehicular traffic in the surrounding area by the proposed structure and use.
3. **Immediate neighborhood impact.** The proposed structure and use is not detrimental, injurious, obnoxious, or offensive to other properties in the neighborhood. Negative impacts can include excessive trip generation, noise, vibration, dust, glare, heat, smoke, fumes, gas, odors, and inappropriate hours of operation.
4. **Availability of public services.** The proposed structure and use is adequately served by sewer, water, electricity, fire protection, police protection, and provides for any stormwater requirements.
5. **Site Plan.** A site plan shall be reviewed by the Development Review Committee prior to review by the Planning and Zoning Commission. This review shall be to determine if elements have been adequately provided on the plan. These elements can include, but are not limited to: parking areas, loading areas, buffers, screening, landscaping, and signage. Additional approval by the Development Review Committee may be required for site plan approval after approval of a special exception.
6. **Impact on property values.** The proposed location of the structure and use will not cause or contribute to a decline in property values of surrounding properties.
7. **Consistency with Comprehensive Plan.** The proposed special exception is consistent with the goals, objectives, and policies of the Comprehensive Plan.

- 8. Additional Standards.** All associated additional standards for the proposed building, sign, accessory structure, or site associated with the use have been adequately provided for on the site plan.

ABANDONMENT OR DISCONTINUANCE (Section 3.4.3.K)

Any built structure or site associated with an approved special exception may continue with the associated use unless the use is made a nonconformity by any subsequent zoning ordinance and/or action by the Board of Aldermen. All nonconformities shall be regulated in accordance with section 3.17. If a specific time is not set as part of the approval of a special exception, the special exception shall expire within 18 months if no building permit has been issued and/or construction activities have ceased on the site. A special exception for any sign type shall expire upon the abandonment or discontinuance of the use or business. Reapplication for a special exception for sign will be required.

NOTIFICATION

The request was noticed in accordance with Section 3.4.3.E of the Unified Development Code.

1. 1 property owners of record within 160 feet of the subject property were notified directly by mail of the request.
2. A legal ad was published in the Starkville Daily News on December 21, 2024.
3. A sign was posted on the property in a conspicuous location.

As of this date, the Planning Office has received no response to the notification.

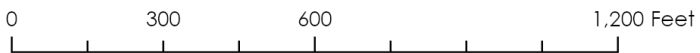
CONDITIONS OF APPROVAL

Any condition attached to the approval of a special exception by the Mayor and Board of Aldermen shall run with the land and shall be binding upon the applicants, their heirs, successors, and assigns for the duration of the use of the building, sign, accessory structure, or site (Section 3.4.3.J).

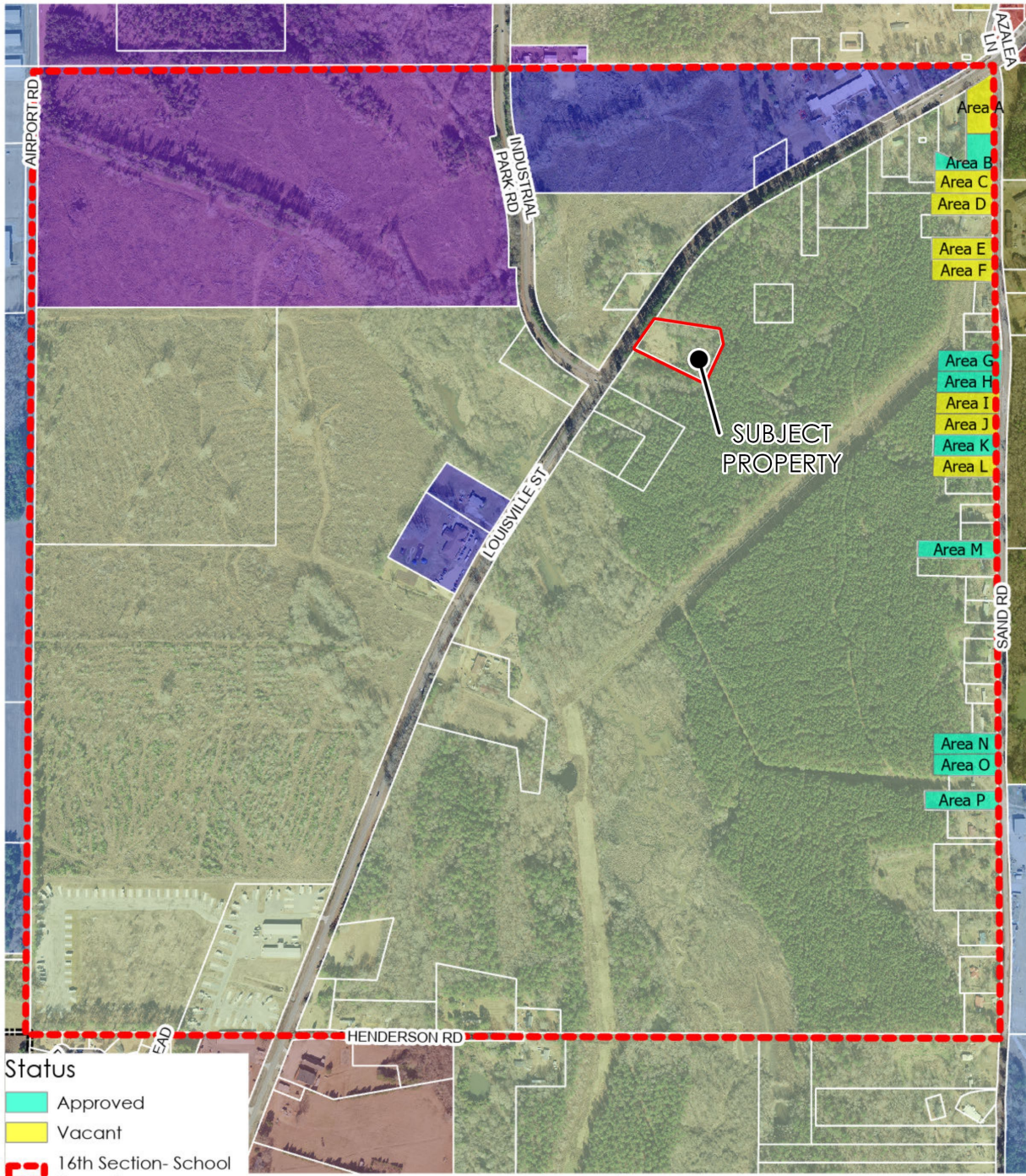
Attachment 1
SE 24-13 Aerial



Attachment 2
SE 24-13 Zoning



Attachment 3-Lease Area Map



Status
Approved
Vacant
16th Section- School Property

0 500 1,000 2,000 Feet



Attachment 4- Planning and Zoning Minutes from August 11, 2020

Only a portion of the property is to be used for the proposed use. The applicant provided a sketch of the home site area. The home site area is shown as 146' wide at the road with a total square footage of 41,880. The required minimum lot with for an R-N zone is 100 ft with a minimum of 40,000 square feet of lot area. The required setbacks are as follows: front 30 ft, rear 25 ft, and side 10 ft. There are currently no other dwellings on the home site area. The request was noticed in accordance with Section 3.4.3.E of the Unified Development Code. 8 property owners of record within 160 feet of the subject property were notified directly by mail of the request. A legal ad was published in the Starkville Daily News on July 22, 2020. A sign was posted on the property in a conspicuous location.

Section 3.4.1 lists 8 criteria for Special Exception approval. Section 13.3.4 of UDC also requires that the Special Exception meet the additional standards for that use. Section 13.5.8.D lists 11 additional standards for the proposed use.

In the opinion of the Planning Department the proposed use associated with the Special Exception request could meet the criteria for special exception review and approval.

Chairman Brooks opened the public hearing to citizen comments.

Chairman Brooks called for the applicant to come forth. Neither the applicant nor a representative of the applicant were present at the meeting.

Calling for and receiving no additional comments, Chairman Brooks closed the public hearing and opened the item up for discussion.

Commissioner Dumas stated he will not support any special exception requests to place mobile homes on a major thoroughfare such as Louisville St.

After discussion and upon the motion of Commissioner Dumas, duly seconded by Commissioner Verdell, the motion to table SE 20-14 until a more suitable parcel can be found along Sand Rd. received unanimous approval.

B. SE 20-16 REQUEST FOR SPECIAL EXCEPTION TO ALLOW FOR A MANUFACTURED HOME ON THE WEST SIDE OF SAND ROAD IN AREA C APPROXIMATELY 529 FEET SOUTH OF LOUISVILLE STREET IN A R-N ZONING DISTRICT.

City Planner Daniel Havelin presented the Special Exception Request by Angela McMullen on behalf of Starkville Oktibbeha Consolidated School District for a Special Exception to allow for a manufactured home on the west side of Sand Road in Area C approximately 529 feet (0.10 miles) south of Louisville Street. The Use Chart in Section 13.3 of the Unified Development Code

requires a Special Exception for "Dwelling, Manufactured and Modular Home" in a Rural Neighborhood (R-N) zoning district.

Only a portion of the property is to be used for the proposed use. The applicant provided a sketch of the home site area. The home site area is shown as 127' wide at the road with a total square footage of 43,307. The required minimum lot with for an R-N zone is 100 ft with a minimum of 40,000 square feet of lot area. The required setbacks are as follows: front 30 ft, rear 25 ft, and side 10 ft. There are currently no other dwellings on the home site area.

The request was noticed in accordance with Section 3.4.3.E of the Unified Development Code. 8 property owners of record within 160 feet of the subject property were notified directly by mail of the request. A legal ad was published in the Starkville Daily News on July 22, 2020. A sign was posted on the property in a conspicuous location.

Section 3.4.1 lists 8 criteria for Special Exception approval. Section 13.3.4 of UDC also requires that the Special Exception meet the additional standards for that use. Section 13.5.8.D lists 11 additional standards for the proposed use.

In the opinion of the Planning Department the proposed use associated with the Special Exception request could meet the criteria for special exception review and approval.

Chairman Brooks opened the public hearing to citizen comments.

The Applicant, Angela McMullen, came forward to speak in favor of the request.

Calling for and receiving no additional comments, Chairman Brooks closed the public hearing and opened the item up for discussion.

After discussion and upon the motion of Commissioner Dumas, duly seconded by Commissioner Verdell, the motion to approve SE 20-16 was approved 3 to 1 with Commissioner Gregory being the dissenting vote.

C. SE 20-17 REQUEST FOR SPECIAL EXCEPTION TO ALLOW FOR A MANUFACTURED HOME ON THE WEST SIDE OF SAND ROAD IN AREA P APPROXIMATELY 3,927 FEET SOUTH OF LOUISVILLE STREET IN A R-N ZONING DISTRICT.

City Planner Daniel Havelin presented the Special Exception Request by Julisa Dodd on behalf of Starkville Oktibbeha Consolidated School District for a Special Exception to allow for a manufactured home on the west side of Sand Road in Area P approximately 3,927 feet (0.74 miles) south of Louisville Street. The Use Chart in Section 13.3 of the Unified Development Code requires a Special Exception for "Dwelling, Manufactured and Modular Home" in a Rural

B. SE 20-14 REQUEST FOR SPECIAL EXCEPTION TO ALLOW FOR A MANUFACTURED HOME IN AREA A LOCATED AT THE SOUTHWEST CORNER OF THE INTERSECTION OF SAND ROAD AND LOUISVILLE STREET IN A R-N ZONING DISTRICT.

Upon the motion of Commissioner Moreland, duly seconded by Commissioner Gregory, the motion to lift item SE 20-14 from the table received unanimous approval.

City Planner Daniel Havelin presented the request by Paris Gaines on behalf of Starkville Oktibbeha Consolidated School District for a Special Exception to allow for a manufactured home on the west side of Sand Road in Area A at the southwest corner of the intersection of Sand Road and Louisville Street. The Use Chart in Section 13.3 of the Unified Development Code requires a Special Exception for "Dwelling, Manufactured and Modular Home" in a Rural Neighborhood (R-N) zoning district. Only a portion of the property is to be used for the proposed use. The applicant provided a sketch of the home site area (see attachment 3). The home site area is shown as 146' wide at the road with a total square footage of 41,880. The required minimum lot with for an R-N zone is 100 ft with a minimum of 40,000 square feet of lot area. The required setbacks are as follows: front 30 ft, rear 25 ft, and side 10 ft. There are currently no other dwellings on the home site area.

The request was noticed in accordance with Section 3.4.3.E of the Unified Development Code. 8 property owners of record within 160 feet of the subject property were notified directly by mail of the request. A legal ad was published in the Starkville Daily News on July 22, 2020. A sign was posted on the property in a conspicuous location. The item was tabled at the August 11, 2020 Planning and Zoning Commission meeting.

Chairman Brooks opened the public hearing to citizen comments.

The applicant, Paris Gaines, came forward to speak in favor of the request.

Calling for and receiving no additional comments, Chairman Brooks closed the public hearing and opened the item up for discussion.

After discussion and upon the motion of Commissioner Dumas, duly seconded by Commissioner Prather, the motion to deny SE 20-14 was approved unanimously.

NEW BUSINESS

A. FP 20-03 REQUEST FOR FINAL PLAT APPROVAL FOR "JAX CORNER" THE RECONFIGURATION AND SUBDIVIDING OF SEVERAL LOTS INTO 2 LOTS LOCATED AT 103 HIGHWAY 12 WEST IN A C ZONING DISTRICT

City Planner Daniel Havelin presented the Final Plat request by Jason Pepper on behalf of Jody Josey and 4jLp for the "Jax Corner Subdivision" shown on the plat as "4jLp Subdivision". The proposed subdivision is located on the southwest corner of the intersection of South Jackson Street and Highway 12 within a C zoning district. The subdivision is reconfiguring and